

A HOUSE FOR GREG CUMMINGS

23 EAST RUSKIN-SEASIDE

09.09.15 PERMIT DRAWINGS

General notes:

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for obtaining clarification from the architect before continuing with construction. All dimensions relating to existing conditions shall be field verified.
- Dimensions are called out from face of studs. Window and door opening, in stud construction, are dimensioned to center of opening. Masonry walls are called out from out side face of masonry to face of masonry. Window and door opening, in masonry construction, are dimensioned as masonry openings (noted as M.O.).
- Dimensions for elevations, sections, and details are called out from top of sub floor.
- Any dimensional discrepancies are to be directed to the architect, before fabrication of area in question.
- Contractor to field verify all existing conditions and dimensions. Contractor to notify the Architect of any discrepancies with these drawings and/or site information prior to beginning construction and/or ordering materials.
- Contractor to provide wood blocking for all millwork and any wall hung counters, ledges and shelving. Provide blocking as required by construction.
- All finish work shall be smooth, free from abrasion and/or tool marks on any exposed surfaces. All specified finishes are to be installed per manufacturers instructions.
- All construction shall comply with all building codes and requirements having jurisdiction over this project.
- See the electrical drawings for the locations of lights, etc. Verify with architectural reflected ceiling plan intent, the placement in relation to adjacent finishes or grids. Contractor to coordinate owner review meeting to approve all power and telephone outlet locations. This meeting shall be after all walls have been framed and before any wall finishes have been applied. Modify electrical as required to accommodate any owner selected fixtures / appliances. Notify the architect of any revisions.
- Piping located above grade and inside the building shall be concealed in chases/furred spaces with the exception of piping in equipment rooms. The contractor shall coordinate with other trades to provide furring for piping installed in finish areas.
- All doorframe locations are to be determined by: inside face of doorframe will be located minimum 4" clear from the edge of the adjacent partition, unless noted otherwise. For CMU walls - see dimensional plan.
- Contractor to coordinate keying requirements with owner (master keying, grandmaster keying, etc.)
- Contractor to verify location of electrical floor outlets, telephone receptacles, and cable connections with architect prior to installation.
- Contractor to verify location of thermostats, Air handlers, and condensing units with architect prior to installation. All ductwork is to be concealed unless otherwise noted.
- Beams, Headers and Lintils to be sized by an engineer or manufacturer.
- Not used.
- Exact size and reinforcement of all concrete footings must be determined by local soil conditions and acceptable practices of construction. Verifying design with local geotech engineer.
- Electrical contractor to verify and/or size electrical system to meet or exceed local code requirements.
- H.V.A.C. contractor to verify and/or size heating and cooling loads as for local codes, climatic conditions and building orientation, and volume of interior space.
- Plumbing contractor: plumbing materials and installation to be done in accordance with local requirements.
- Windows designations are provided as the outer dimensions of the frame, and called out in feet and inches wide by feet and inches tall. (Example; 2852 designation is a window with a 2 foot 8 inch wide by 5 foot 2 inch tall sash.)
- Contractor to coordinate sill extensions as required for exterior wall conditions.
- All wood members within 18" of grade are to be treated.
- Caulk all transition from tile to gyp. board in bathrooms with mildew resistant caulk
- The contractor shall follow the SMANCA guide for all metal roof, flashing and gutter/downspout installation.
- The contractor shall abide by the recommendations of all trade associations (i.e., brick institute, SMACNA, the wood institute etc) for generally accepted practices for all trades.

LIGHTING NOTES :

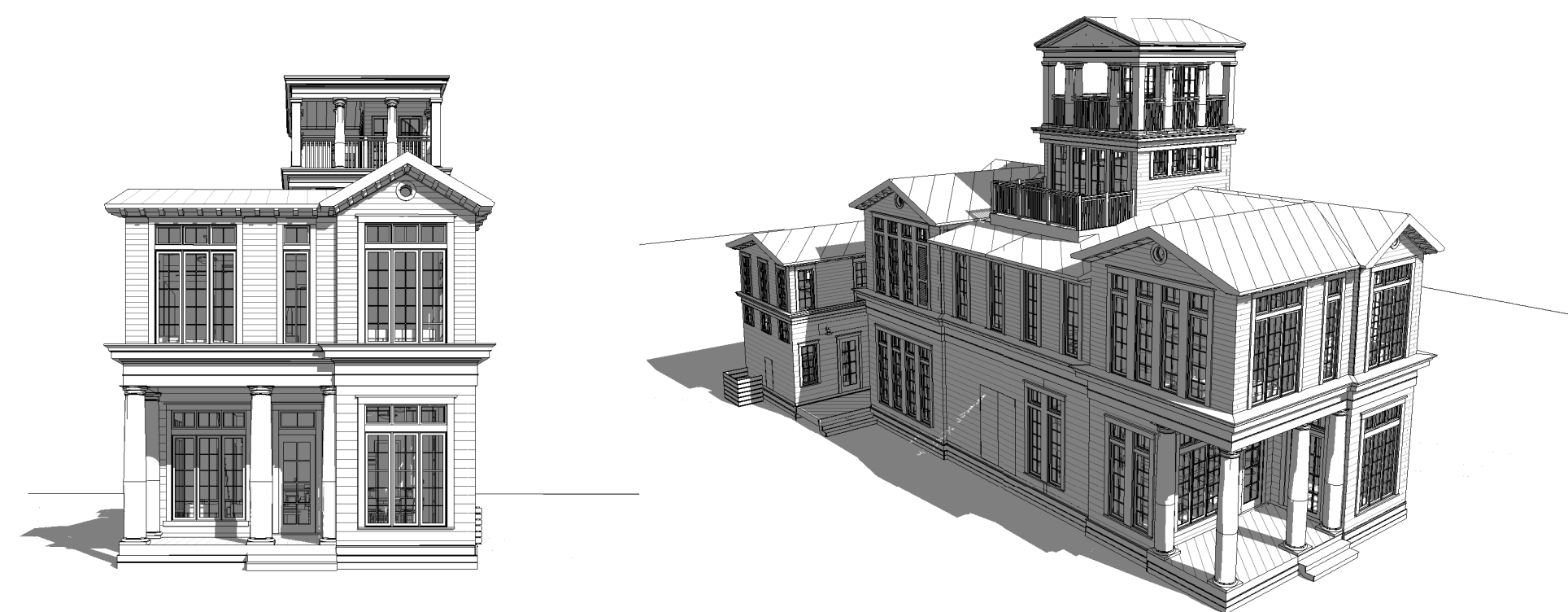
- The general contractor shall coordinate the installation of all light fixtures and HVAC equipment to avoid conflicts.
- See Specifications and interior elevations for specific light fixtures



1 RENDERING
A1-D 1/2" = 1'-0"



2 FRONT LEFT PERSPECTIVE
A1-D



3 FRONT PERSPECTIVE
A1-D

4 3D VIEW 2
A1-D



5 LEFT CENTER PERSPECTIVE
A1-D

AREA CALCULATIONS MAIN HOUSE

	ENCLOSED AS SPACE	BALCONIES, DECKS & PORCHES	OVERALL
1st:	1,282 s.f.	216 s.f.	1,498 s.f.
2nd:	1,400 s.f.	0	1,400 s.f.
3rd:	196 s.f.	271 s.f.	467 s.f.
4th	42 s.f.	144 s.f.	186 s.f.
TOTAL	2,920 s.f.	631 s.f.	3,551 s.f.

AREA CALCULATIONS

FLOOR AREA-CONDITIONED:	
LEVEL 1	1,282 s.f.
LEVEL 1 CARRIAGE HOUSE	240 s.f.
LEVEL 2	1,400 s.f.
LEVEL 2 CARRIAGE HOUSE	240 s.f.
LEVEL 3	196 s.f.
LEVEL 4	42 s.f.
TOTAL CONDITIONED AREA	3,400 s.f.

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01.24.13	DRB REVIEW
02.03.14	INITIAL DRB REVIEW #2
03.06.14	INITIAL DRB REVIEW #3
04.01.14	INITIAL DRB REVIEW #4
05.01.14	INITIAL DRB REVIEW #5
06.05.14	INITIAL DRB REVIEW #6
07.03.14	INITIAL DRB REVIEW #7
01.08.15	INITIAL DRB REVIEW #10
04.07.15	FINAL DRB REVIEW
09.09.15	PERMIT ISSUE

Revision Schedule

Rev#	Description	Date
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CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE

DATE: 05.19.11

PROJECT NO.
Project Number

A1-0

NOT FOR CONSTRUCTION

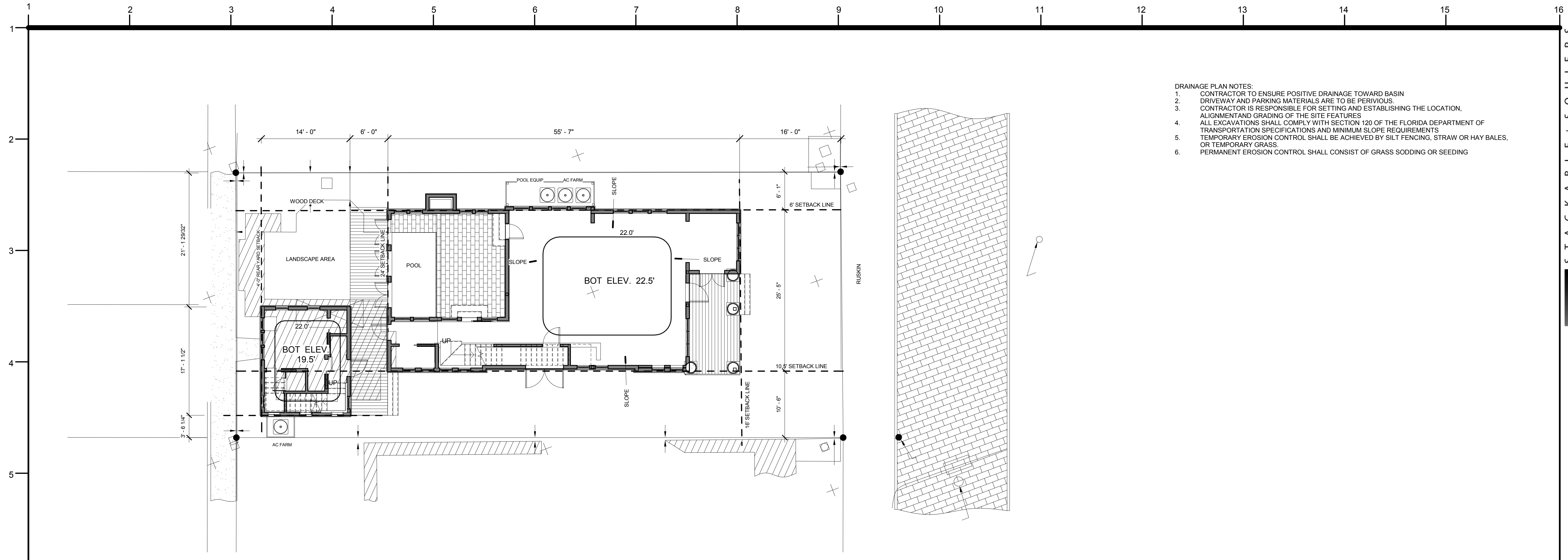
TITLE SHEET

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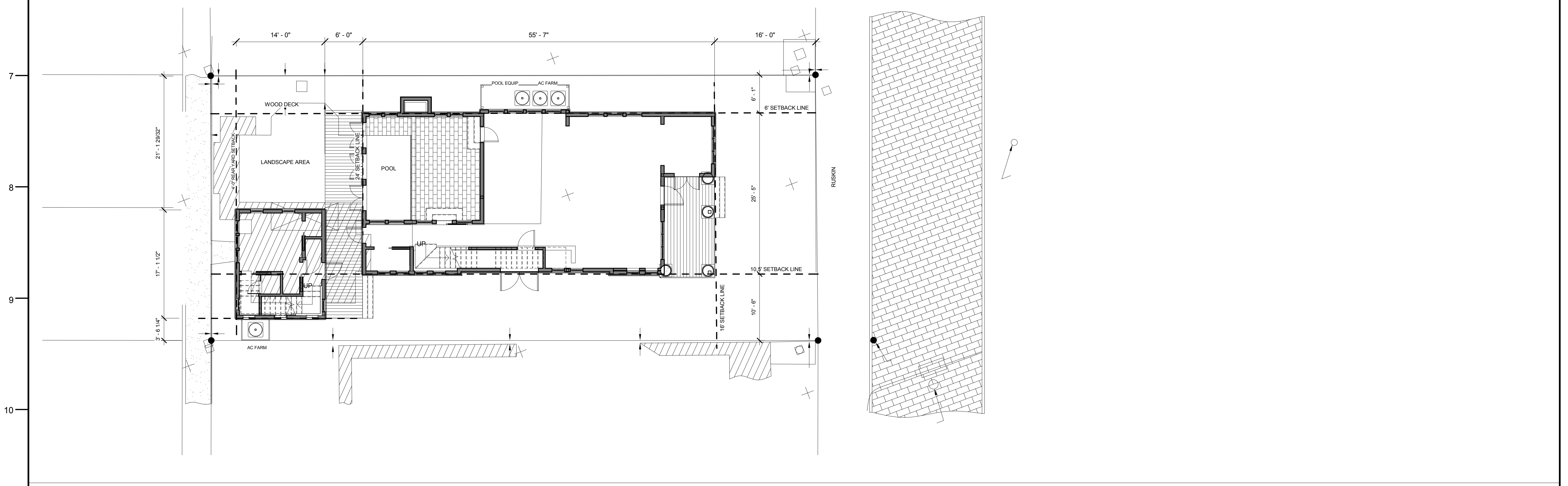
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- DRAINAGE PLAN NOTES:**
1. CONTRACTOR TO ENSURE POSITIVE DRAINAGE TOWARD BASIN
 2. DRIVEWAY AND PARKING MATERIALS ARE TO BE PERVIOUS
 3. CONTRACTOR IS RESPONSIBLE FOR SETTING AND ESTABLISHING THE LOCATION, ALIGNMENT AND GRADING OF THE SITE FEATURES
 4. ALL EXCAVATIONS SHALL COMPLY WITH SECTION 120 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND MINIMUM SLOPE REQUIREMENTS
 5. TEMPORARY EROSION CONTROL SHALL BE ACHIEVED BY SILT FENCING, STRAW OR HAY BALES, OR TEMPORARY GRASS.
 6. PERMANENT EROSION CONTROL SHALL CONSIST OF GRASS SODDING OR SEEDING

2 DRAINAGE PLAN
AS1-0 1/8" = 1'-0"



1 SITE PLAN
AS1-0 1/8" = 1'-0"

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01.08.15	INITIAL DRB REVIEW #10
04.07.15	FINAL DRB REVIEW
09.09.15	PERMIT ISSUE

Revision Schedule

Rev#	Description	Date
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CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE
SITE & GRADING PLANS

DATE: 05.19.11

PROJECT NO.
Project Number

AS1-0

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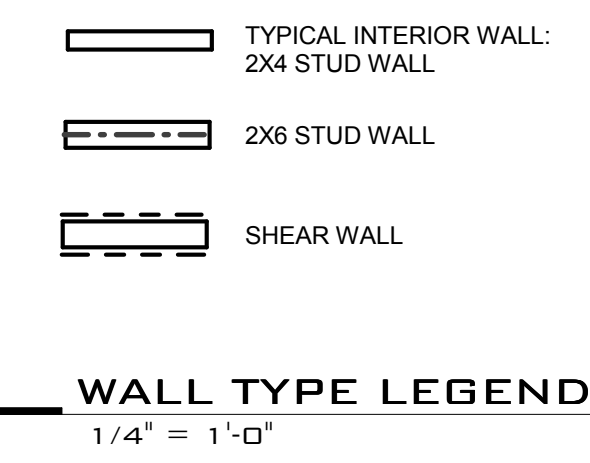
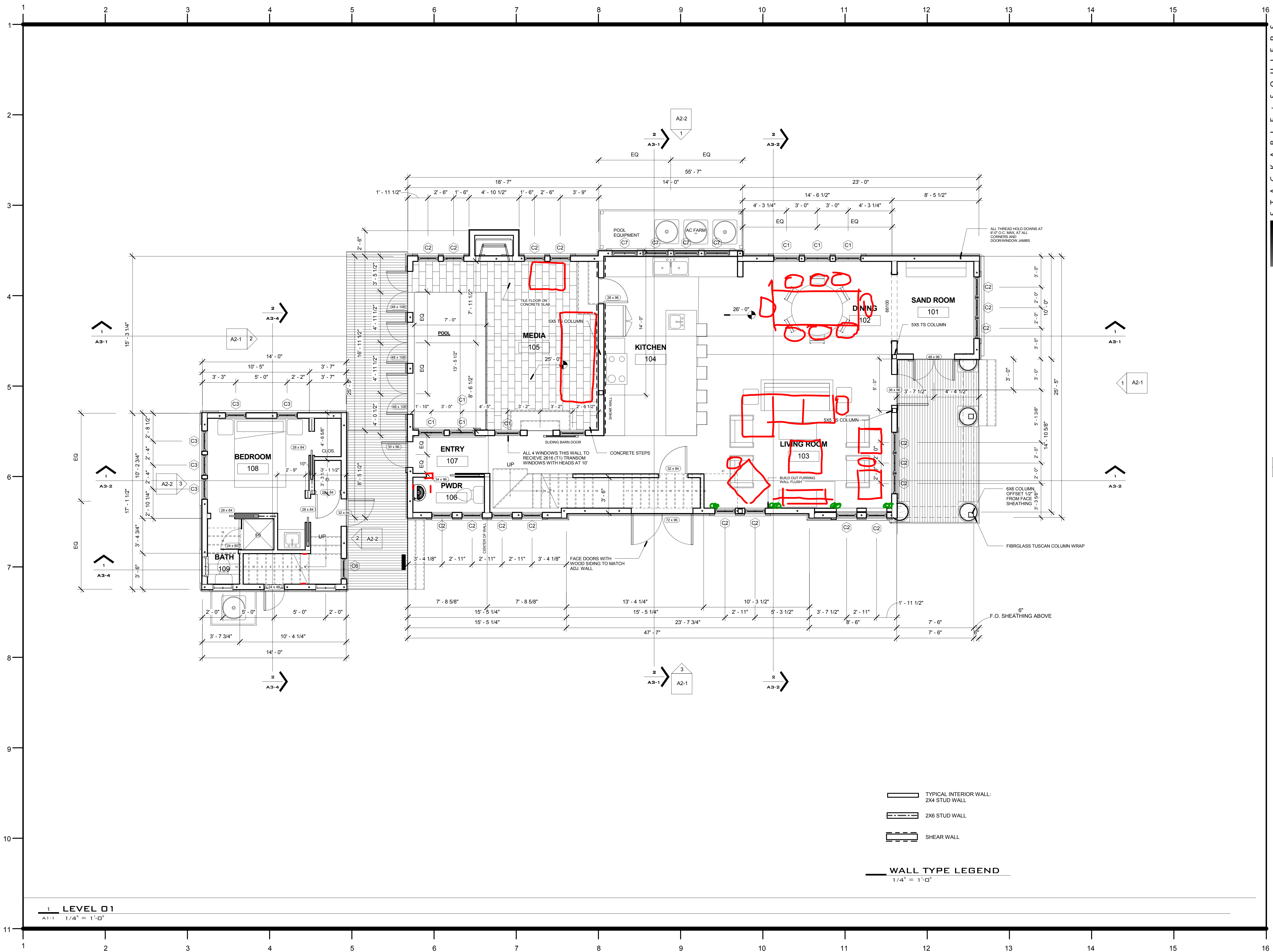
CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE
FLOOR PLAN - LEVEL 01

DATE: 05.19.11

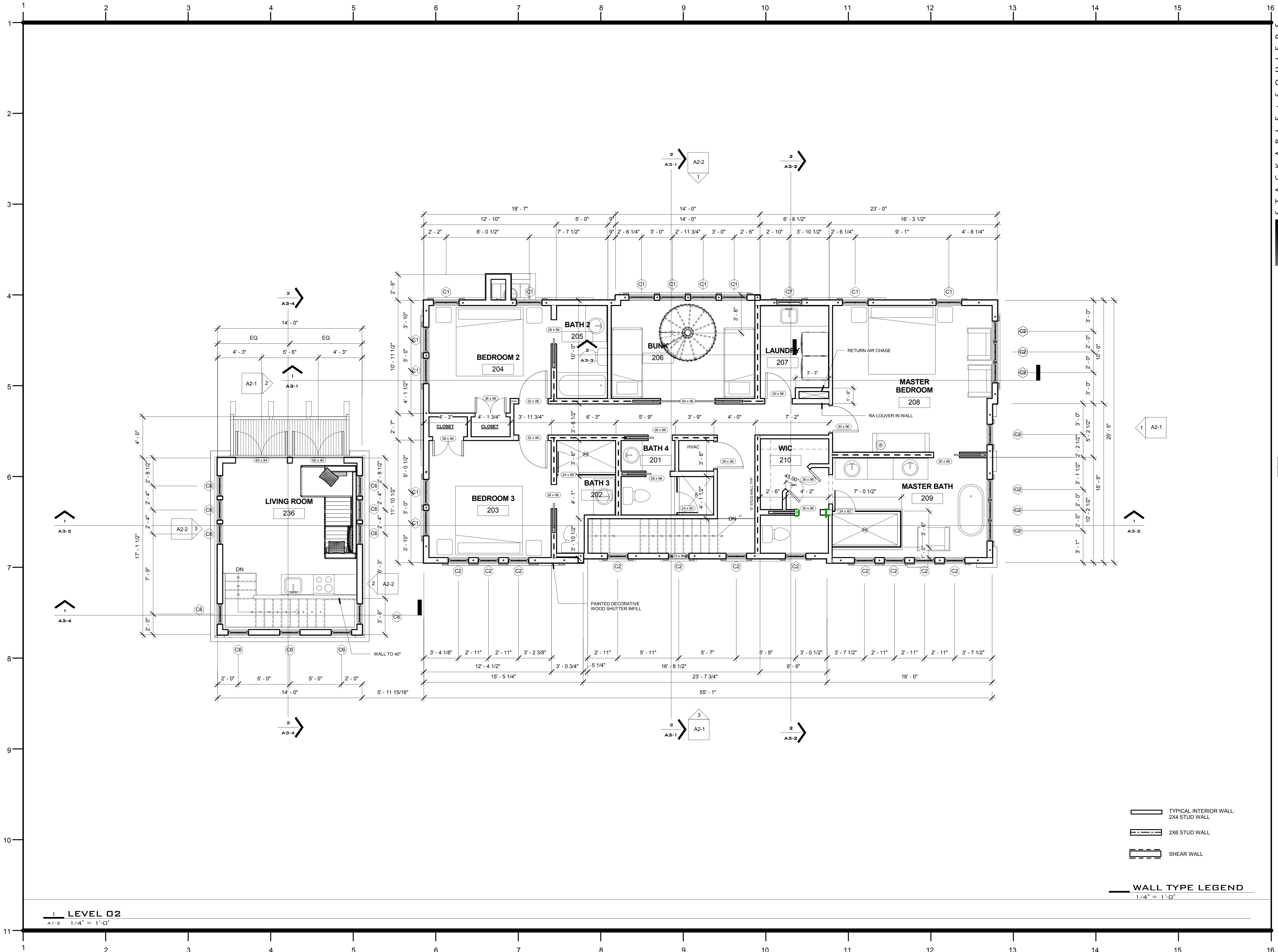
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A1-1

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1 LEVEL 01
A1-1 1/4" = 1'-0"



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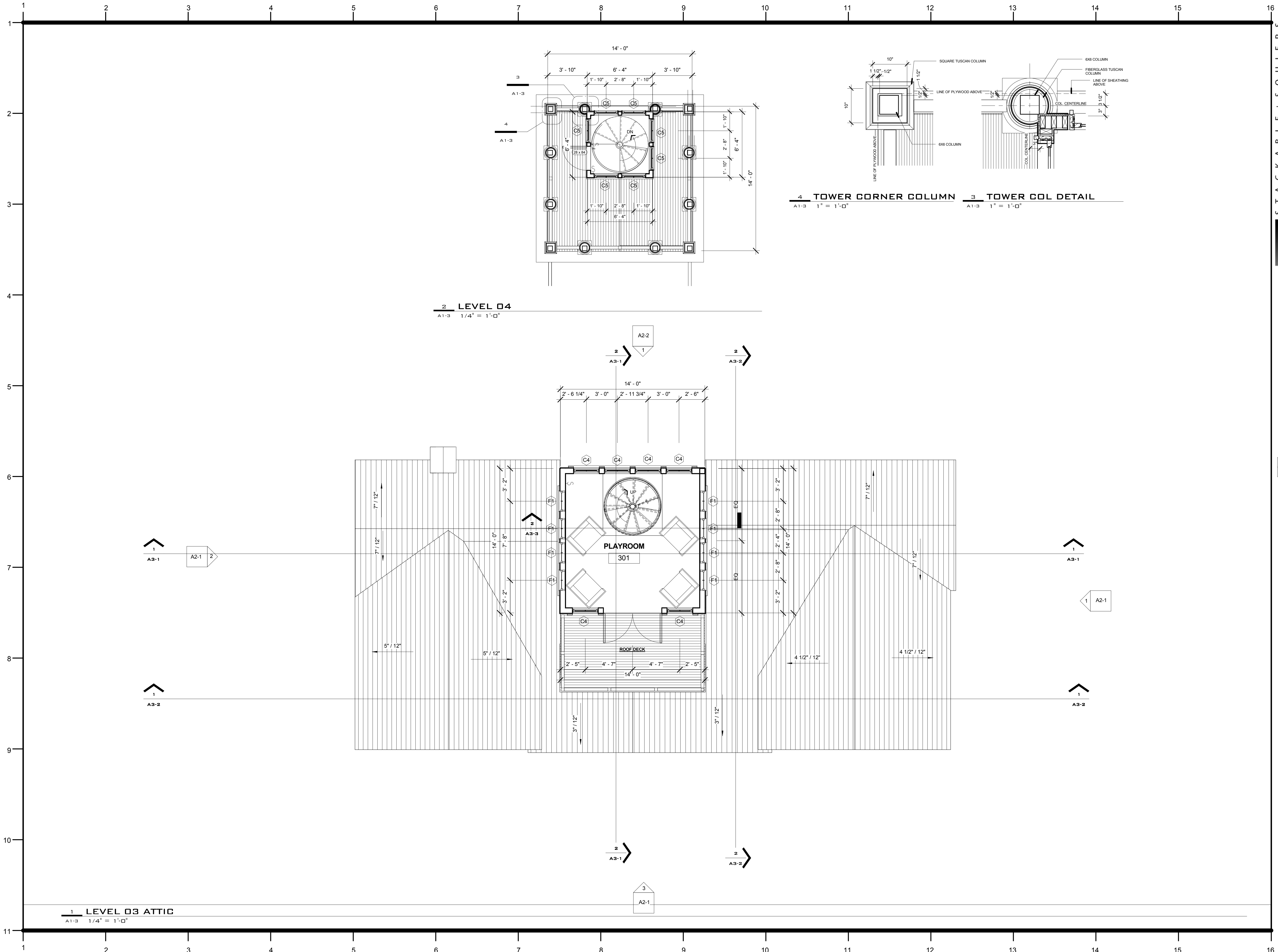
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CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
FLOOR PLAN - LEVEL 02

DATE: 05.19.11
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 Project Number
A1-2

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2 LEVEL 04
A1-3 1/4" = 1'-0"

4 TOWER CORNER COLUMN **3 TOWER COL DETAIL**
A1-3 1" = 1'-0"

1 LEVEL 03 ATTIC
A1-3 1/4" = 1'-0"

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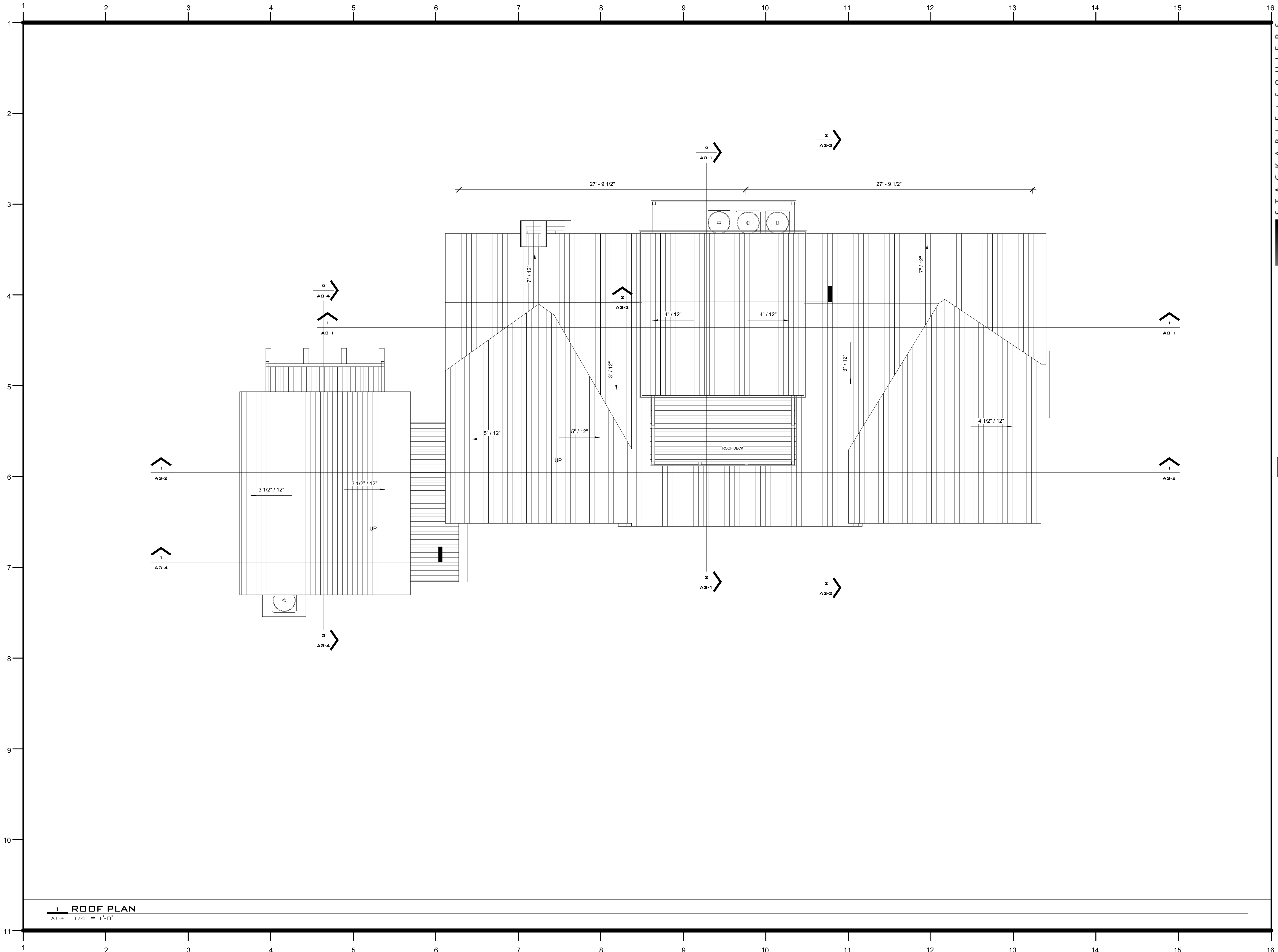
CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
 FLOOR PLAN - LEVEL 03

DATE: 01/02/14

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A1-3

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1 ROOF PLAN
A1-4 1/4" = 1'-0"

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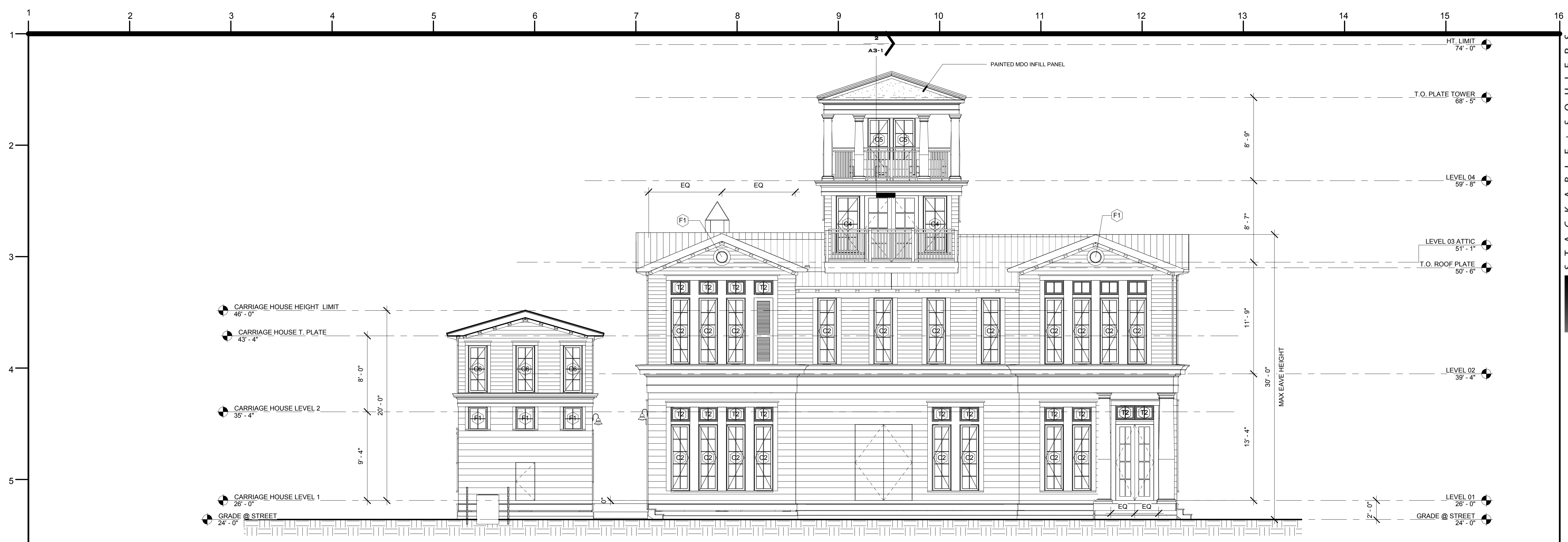
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CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
ROOF PLAN

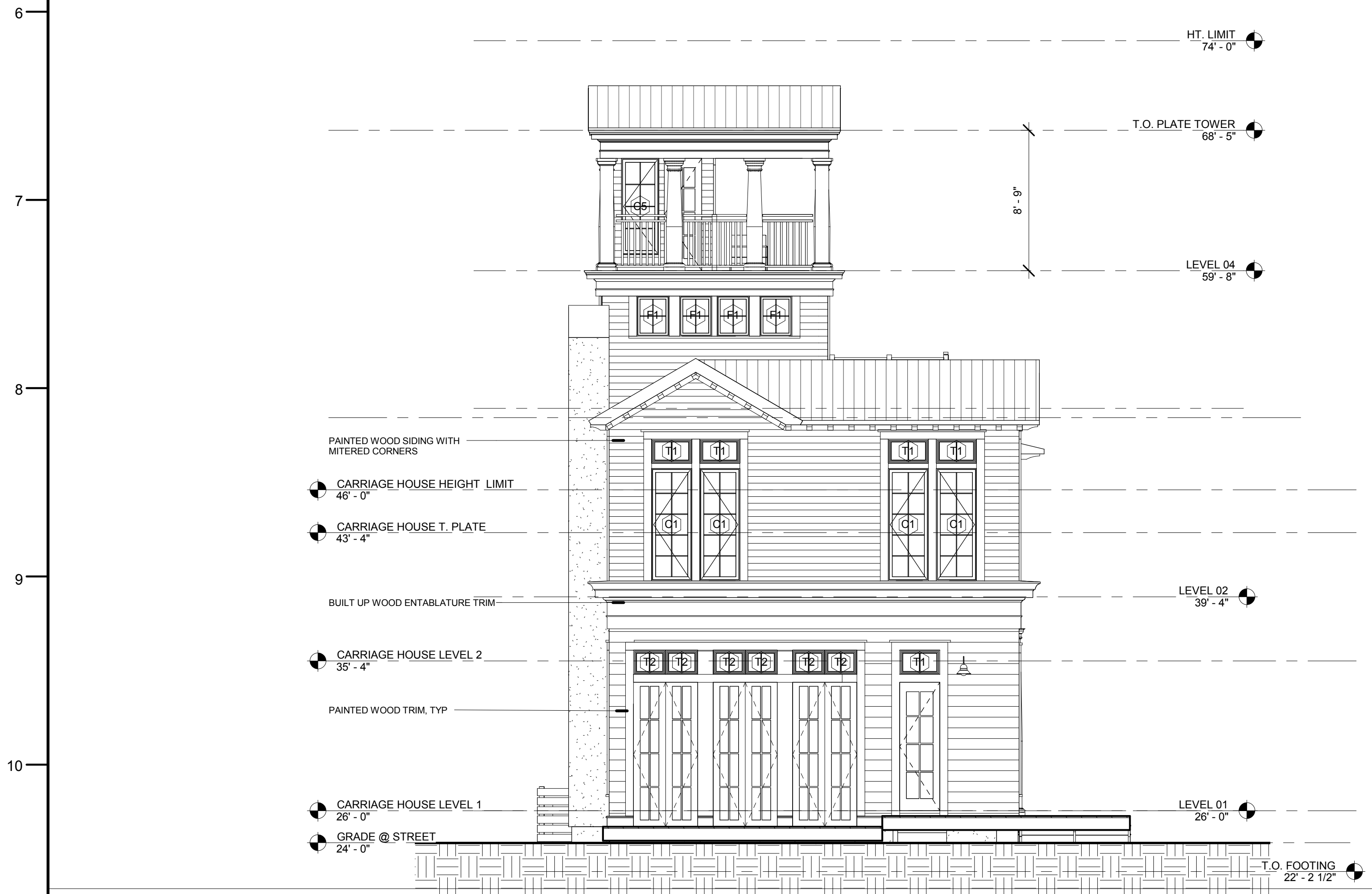
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 Project Number

A1-4

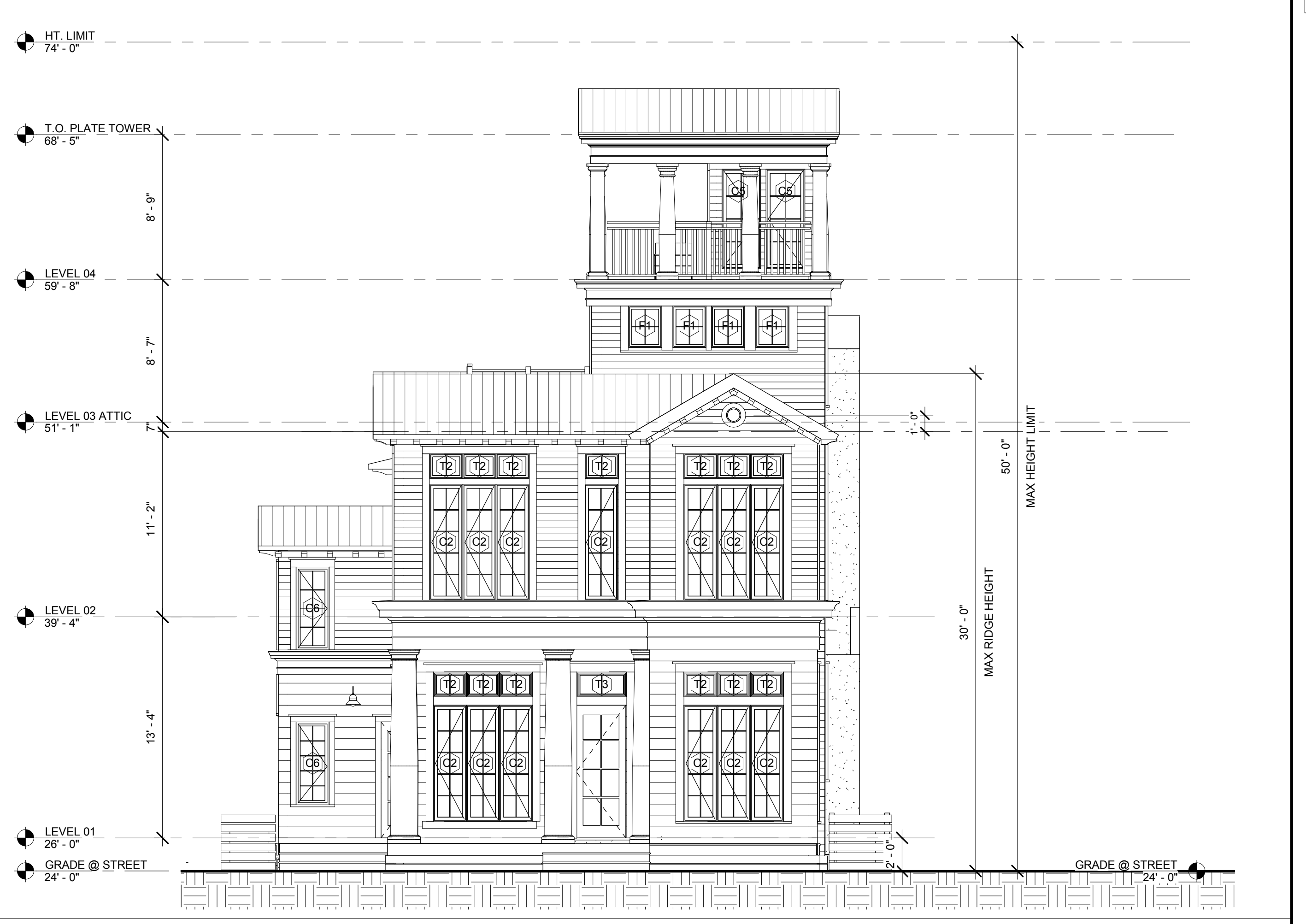
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3 SOUTH ELEVATION
A2-1 3/16" = 1'-0"



2 WEST ELEVATION
A2-1 3/16" = 1'-0"



1 EAST ELEVATION
A2-1 3/16" = 1'-0"

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09.09.15	PERMIT ISSUE

Revision Schedule

Rev#	Description	Date
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CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE
EXTERIOR ELEVATIONS

DATE: 05.19.11

PROJECT NO.
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A2-1

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01.08.15	INITIAL DRB REVIEW #10
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09.09.15	PERMIT ISSUE

Revision Schedule		
Rev#	Description	Date

CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
 EXTERIOR ELEVATIONS

DATE: 05.19.11

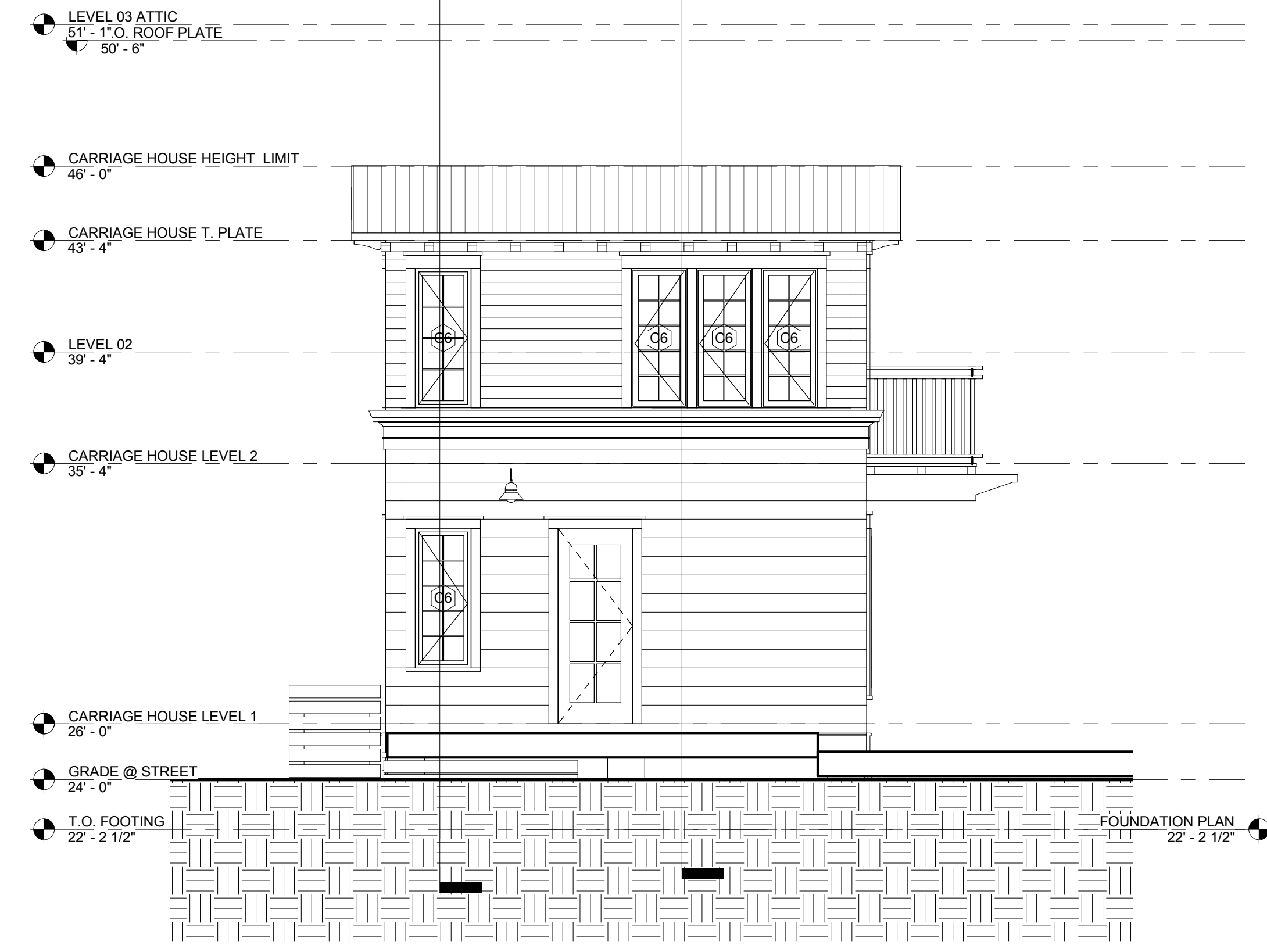
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 Project Number

A2-2

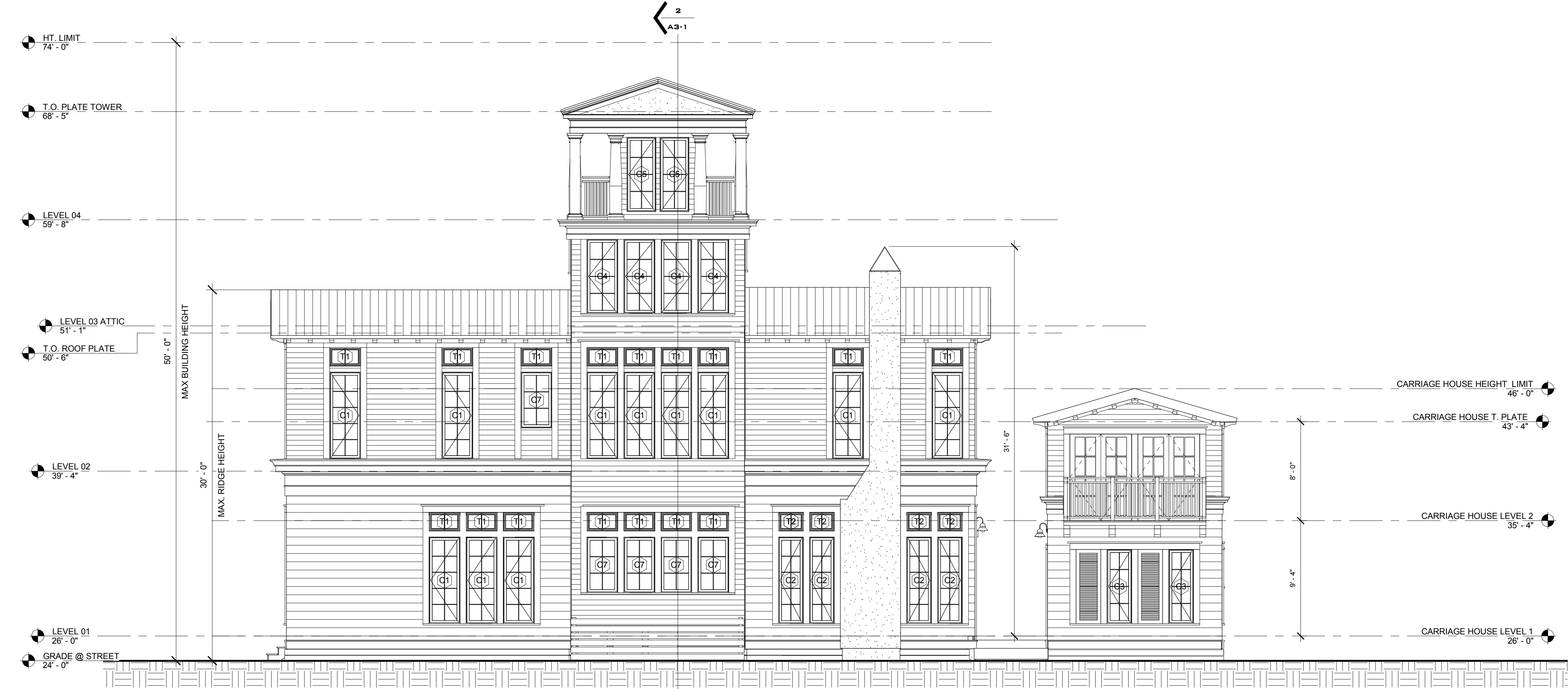
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3 CARRIAGE HOUSE WEST ELEVATION
 A2-2 1/4" = 1'-0"



2 CARRIAGE HOUSE EAST ELEVATION
 A2-2 1/4" = 1'-0"



1 NORTH ELEVATION
 A2-2 3/16" = 1'-0"



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CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE

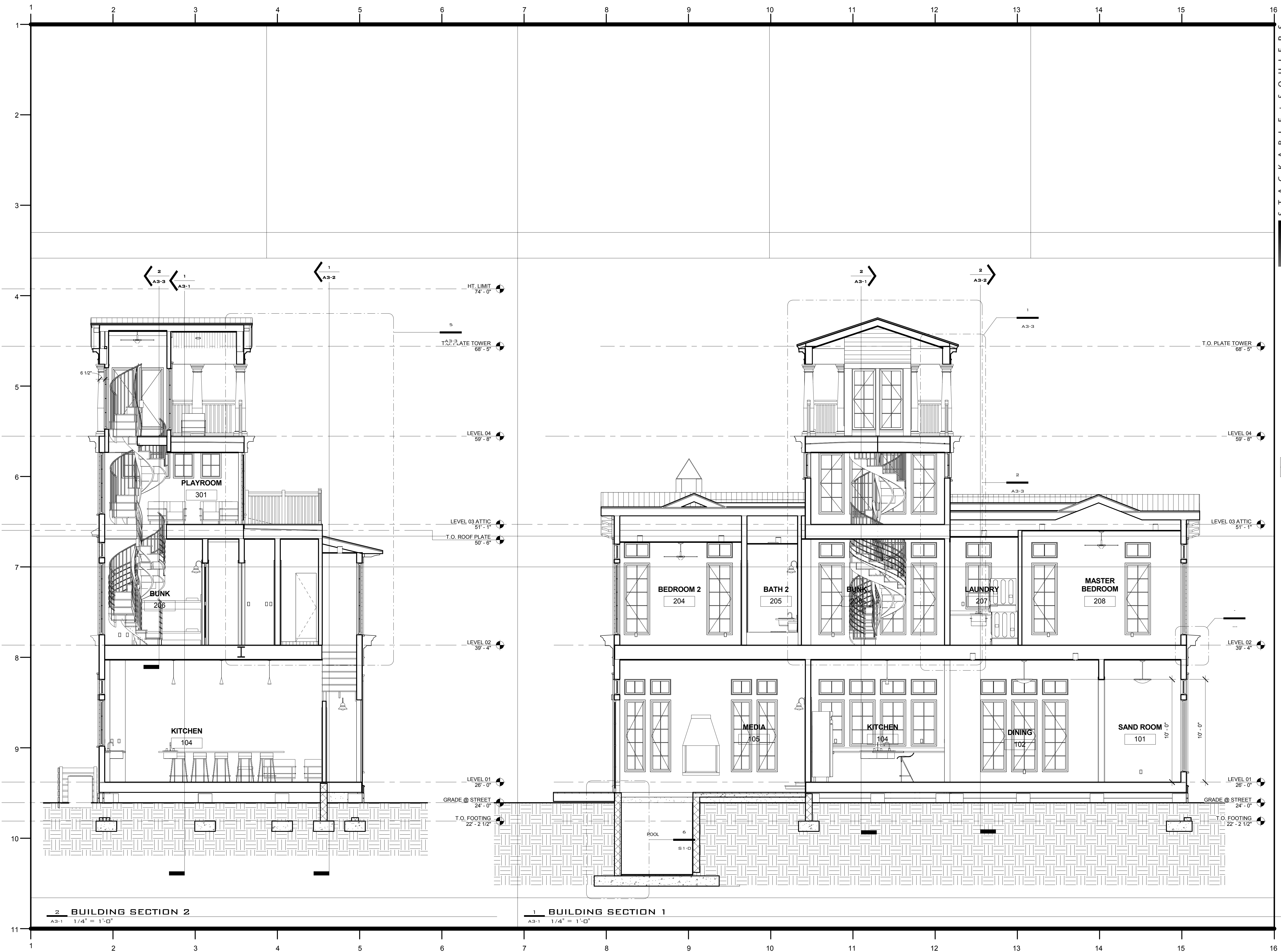
BUILDING SECTIONS

DATE: 05.19.11

PROJECT NO.
Project Number

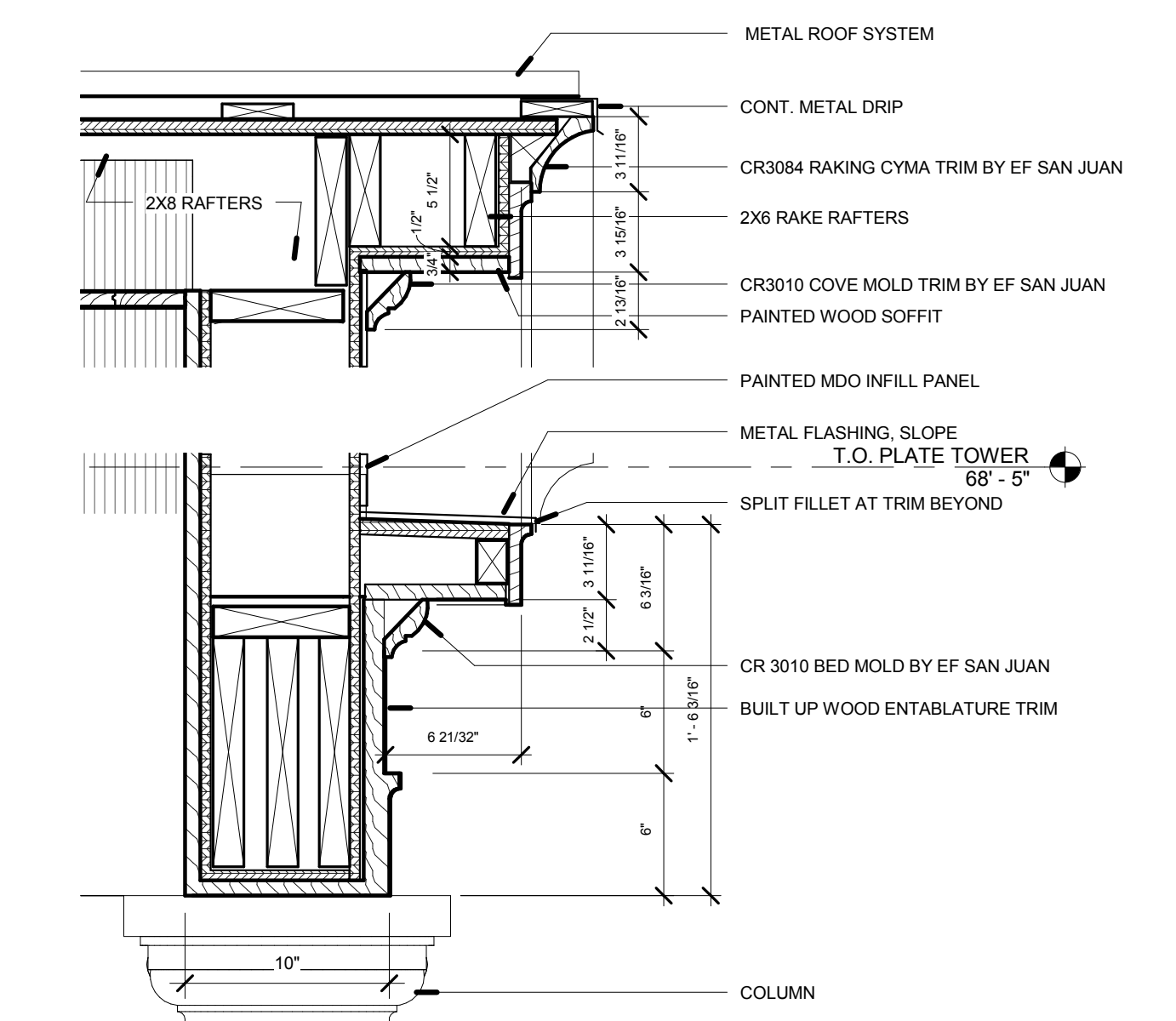
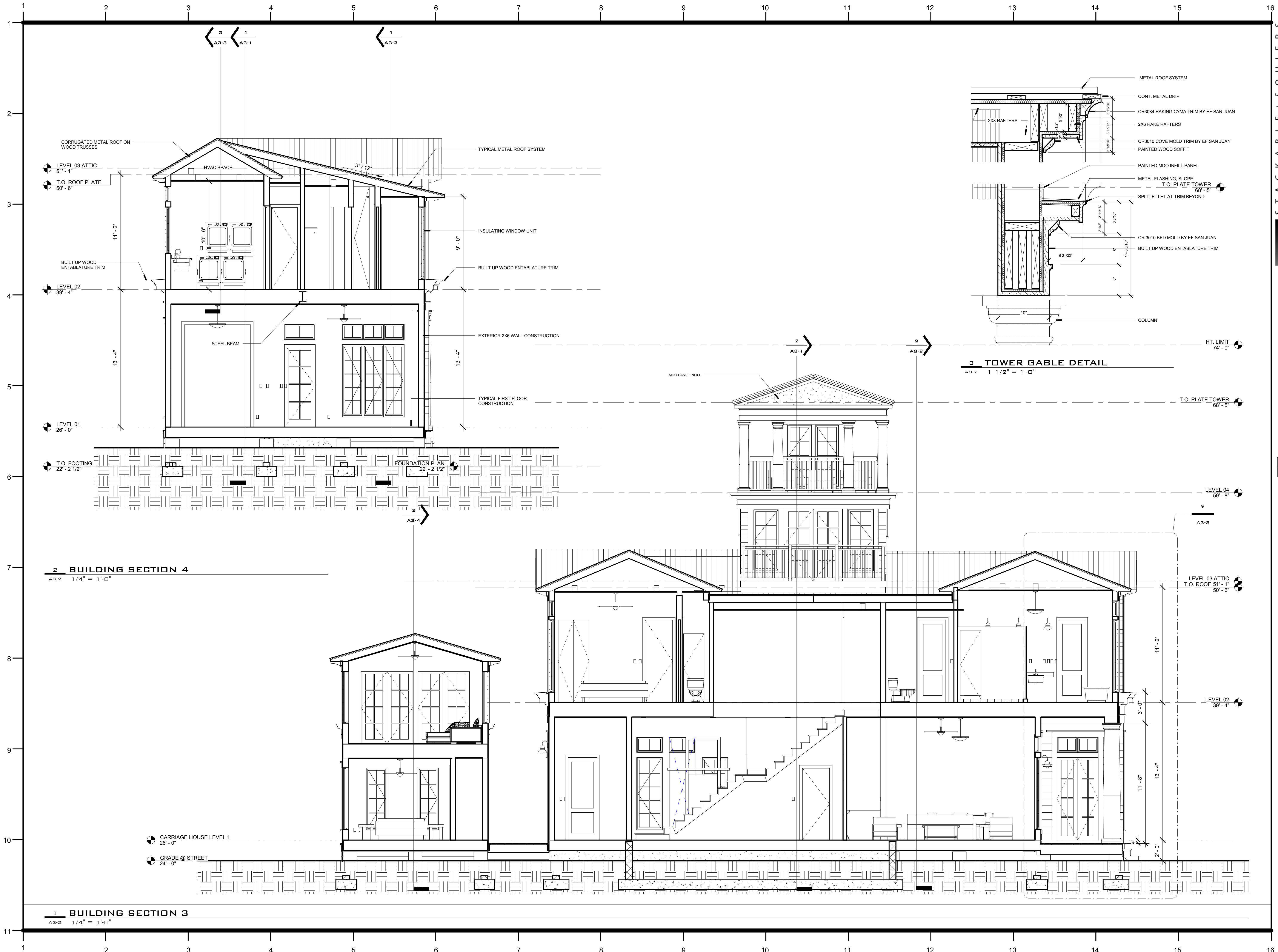
A3-1

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2 BUILDING SECTION 2
A3-1 1/4" = 1'-0"

1 BUILDING SECTION 1
A3-1 1/4" = 1'-0"



3 TOWER GABLE DETAIL
A3-2 1 1/2" = 1'-0"

2 BUILDING SECTION 4
A3-2 1/4" = 1'-0"

1 BUILDING SECTION 3
A3-2 1/4" = 1'-0"

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CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE

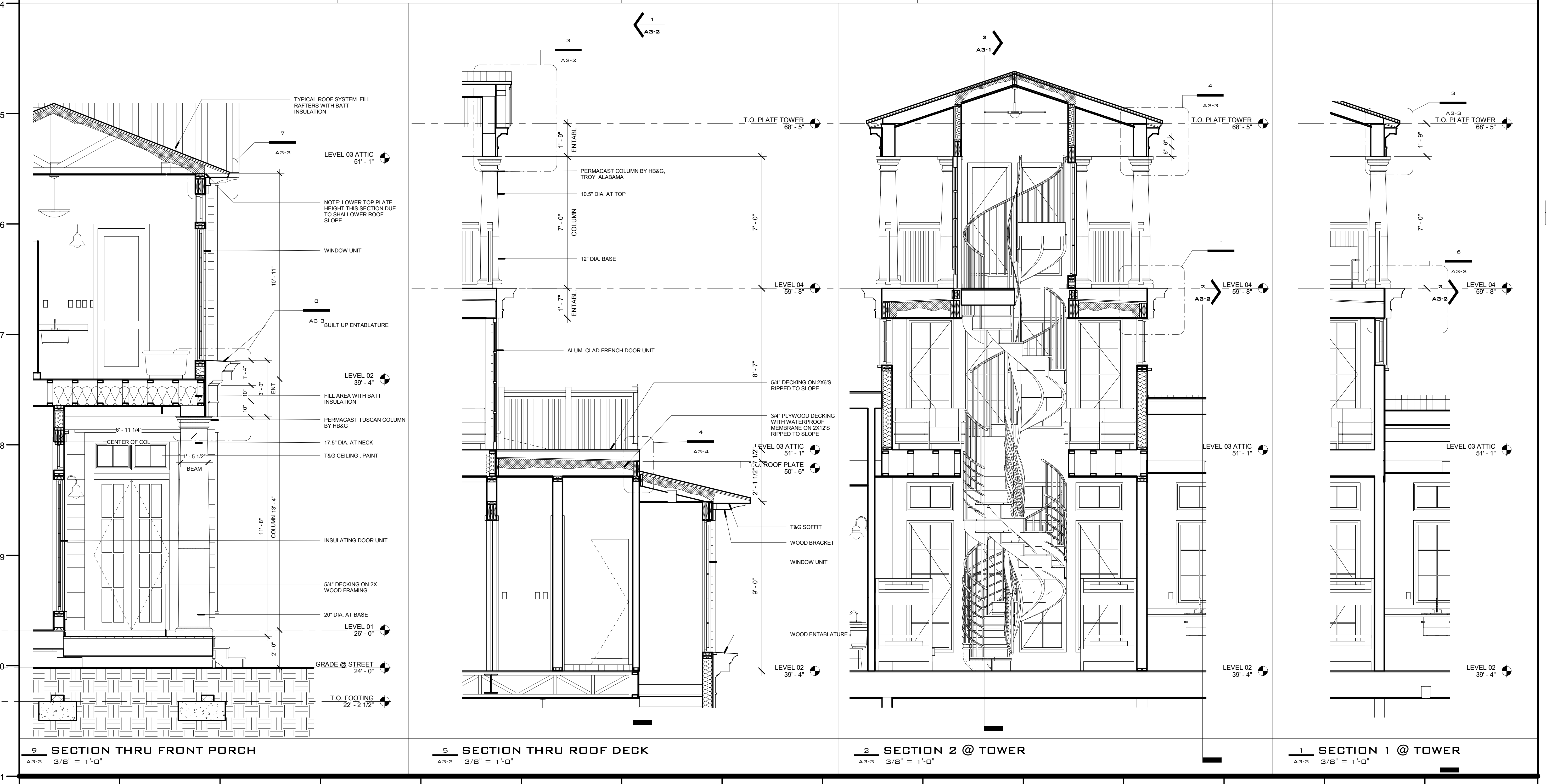
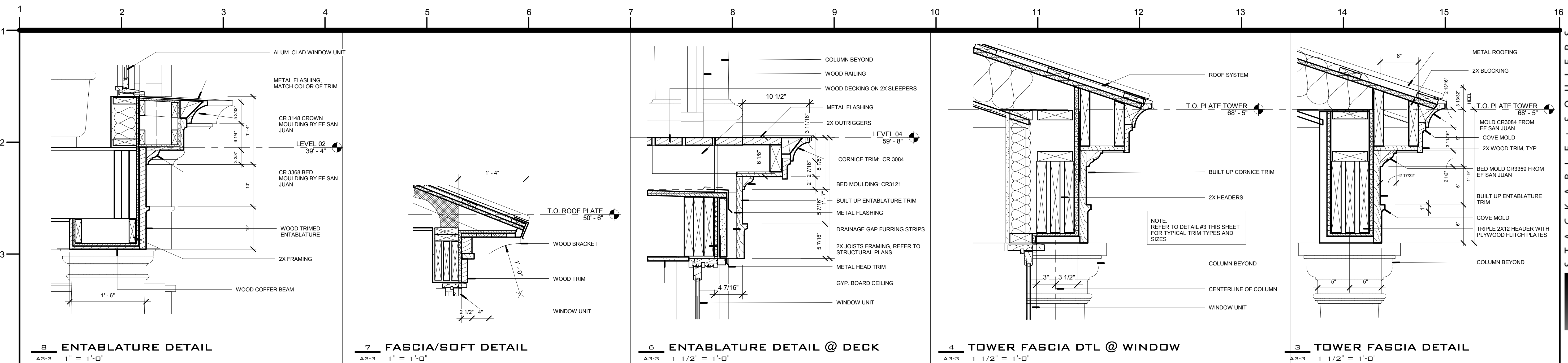
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A3-2

BUILDING & WALL SECTIONS

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09.09.15	PERMIT ISSUE

Revision Schedule		
Rev#	Description	Date

DATE: 10/04/12

PROJECT NO.
Project Number

A3-3

NOT FOR CONSTRUCTION

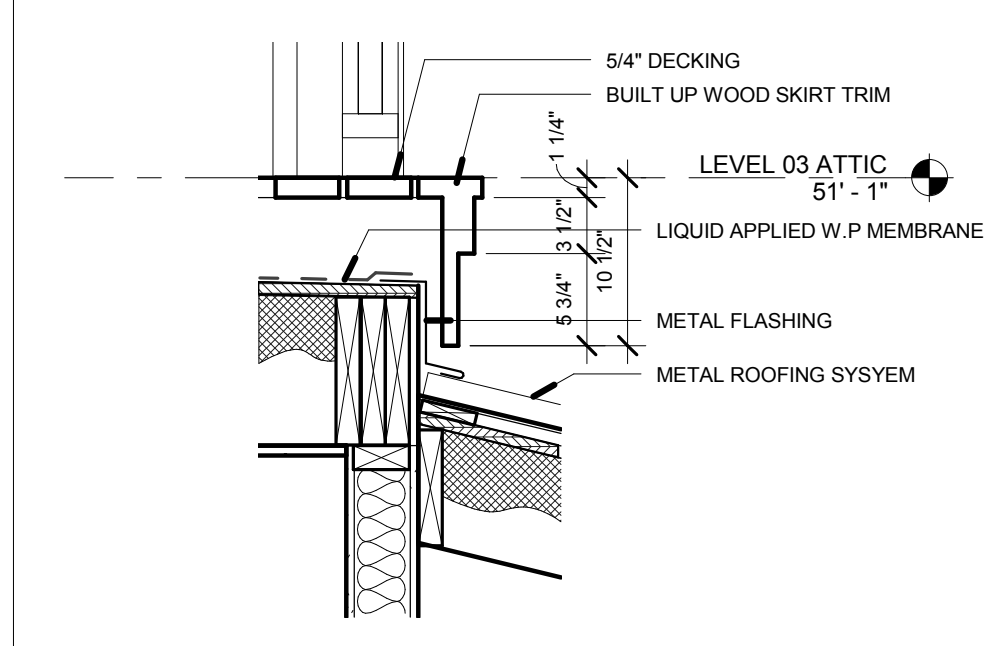


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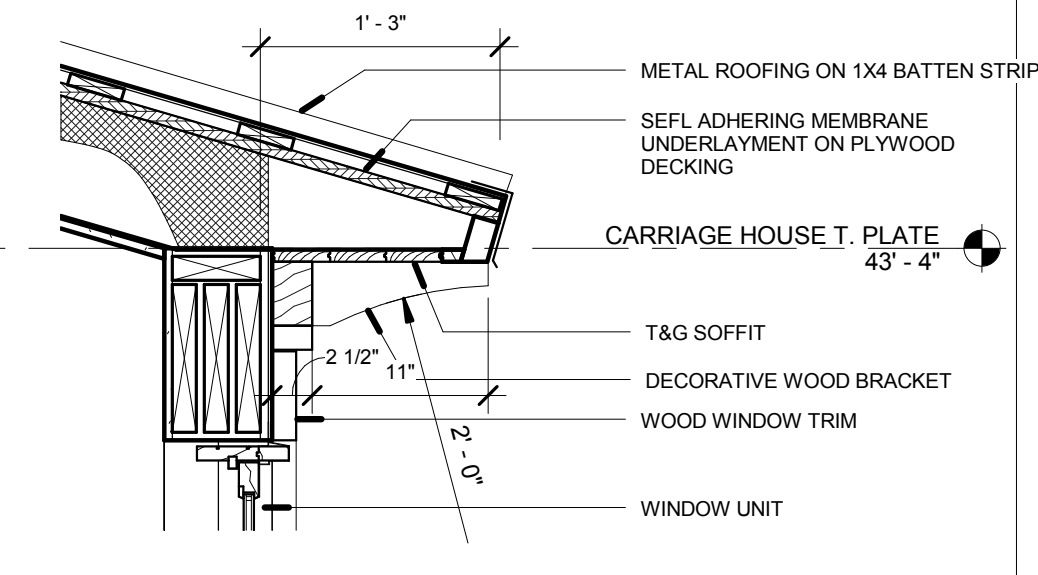
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09.09.15	PERMIT ISSUE

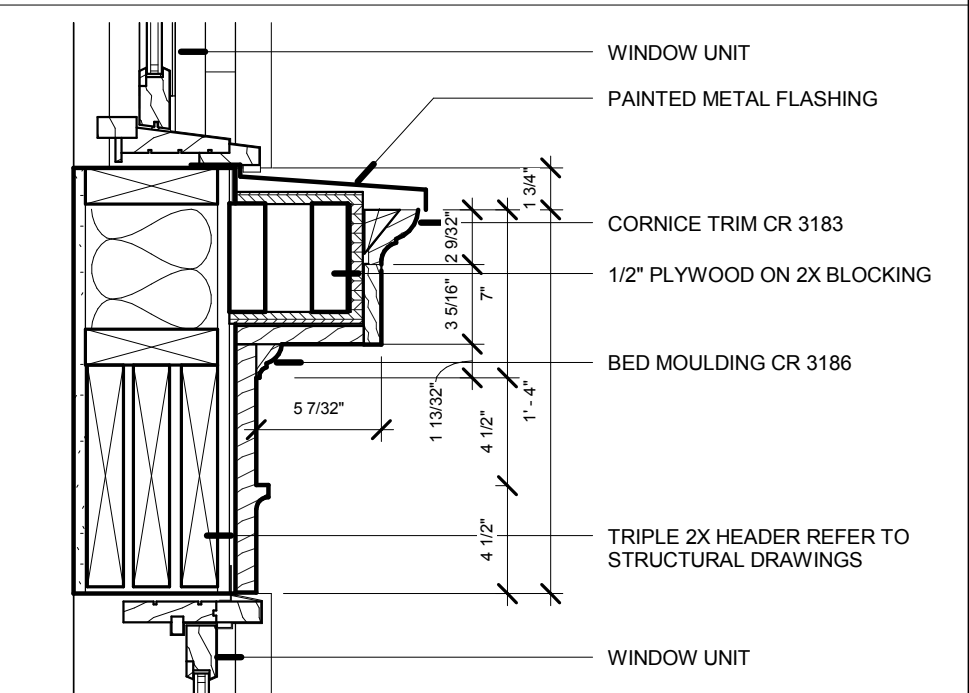
Revision Schedule		
Rev#	Description	Date



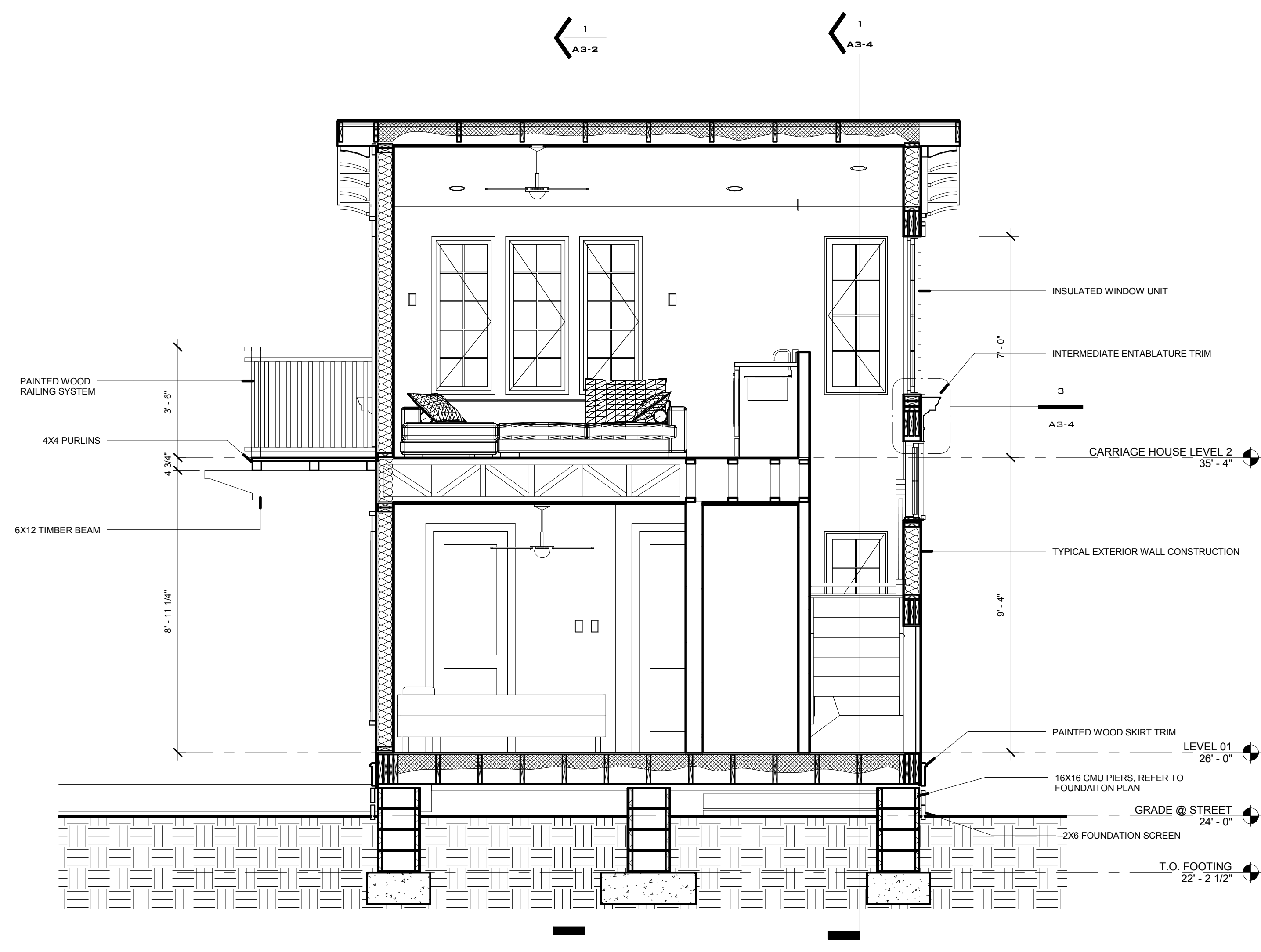
4 ROOF DECK TRIM EDGE
 A3-4 1" = 1'-0"



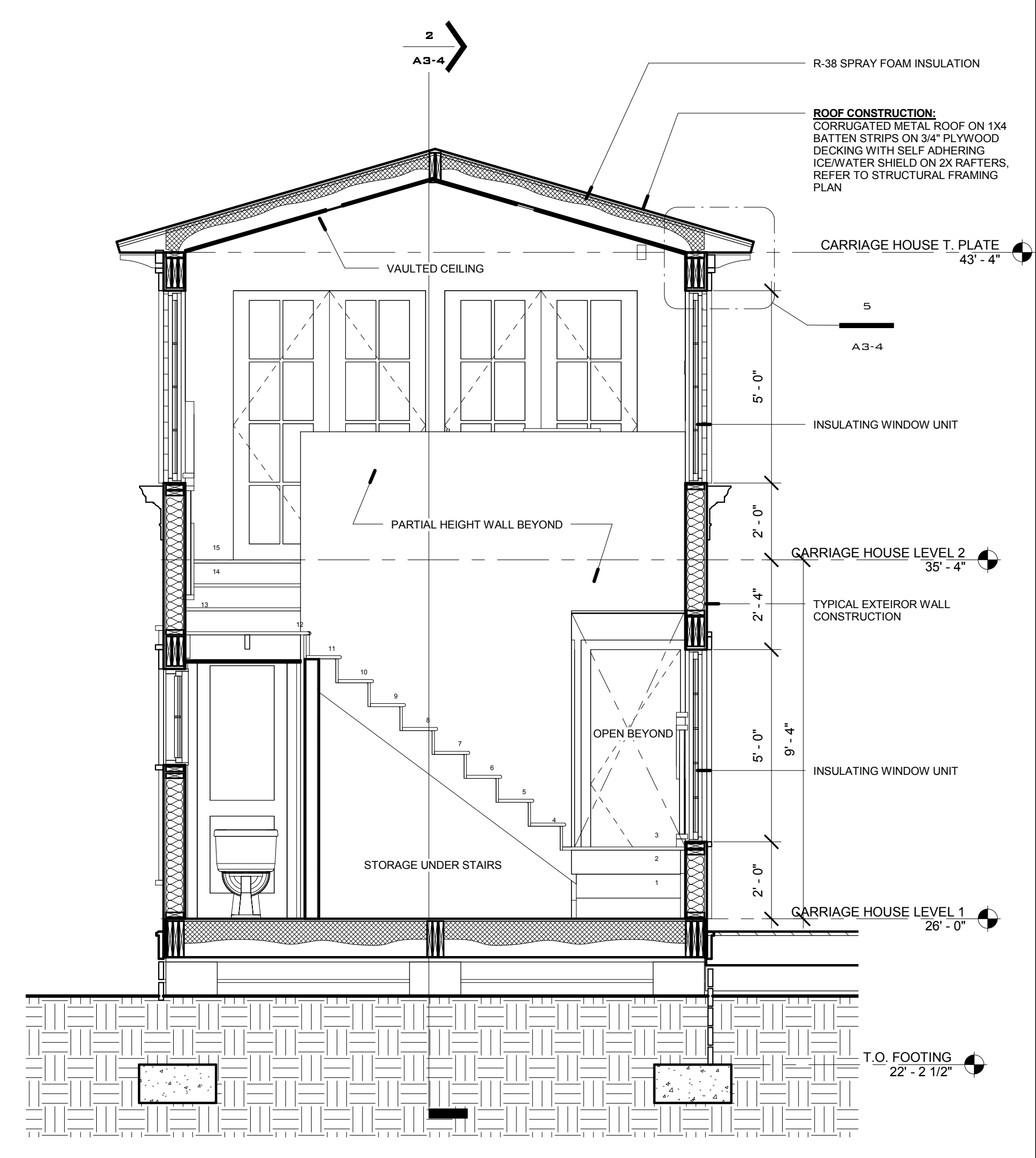
5 CARRIAGE HOUSE EAVE
 A3-4 1" = 1'-0"



3 CARRIAGE HOUSE TRIM DTL
 A3-4 1 1/2" = 1'-0"



2 SECTION THRU CARRIAGE HOUSE
 A3-4 3/8" = 1'-0"

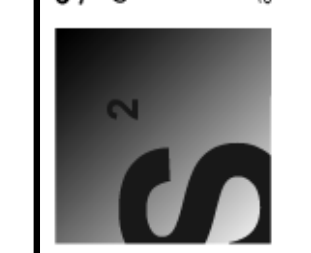


1 SECTION THRU CARRIAGE HOUSE STAIR
 A3-4 3/8" = 1'-0"

DATE: 03/17/15

PROJECT NO.
 Project Number

A3-4



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01.24.13	DRB REVIEW
04.07.15	FINAL DRB REVIEW
09.09.15	PERMIT ISSUE

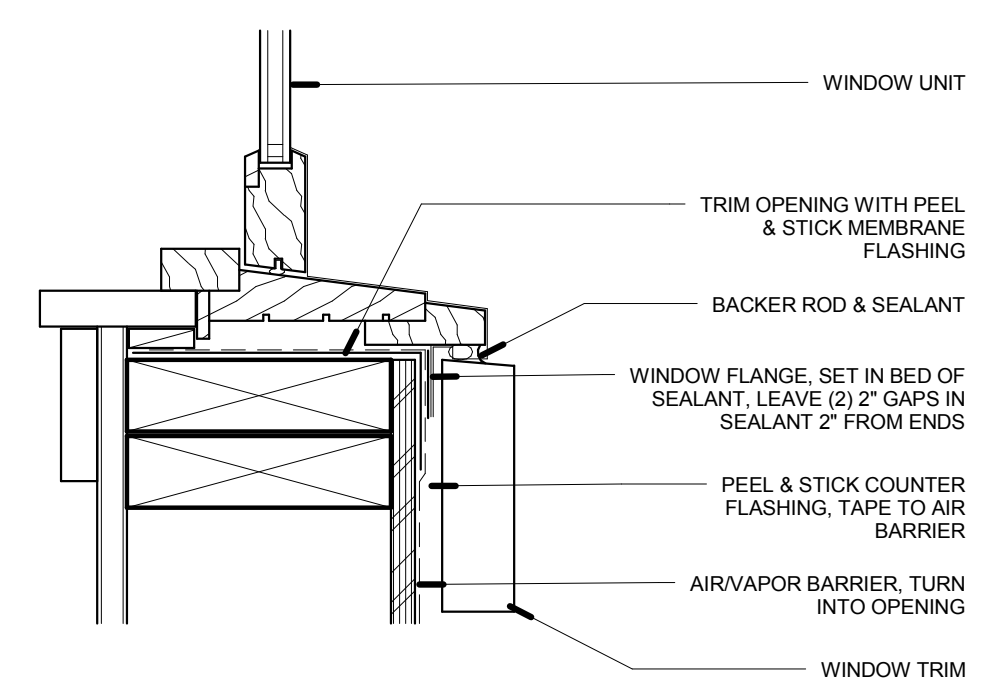
Revision Schedule		
Rev#	Description	Date

CUMMINGS RESIDENCE
23 EAST RUSKIN-SEASIDE
DOOR & WINDOW SCHEDULES

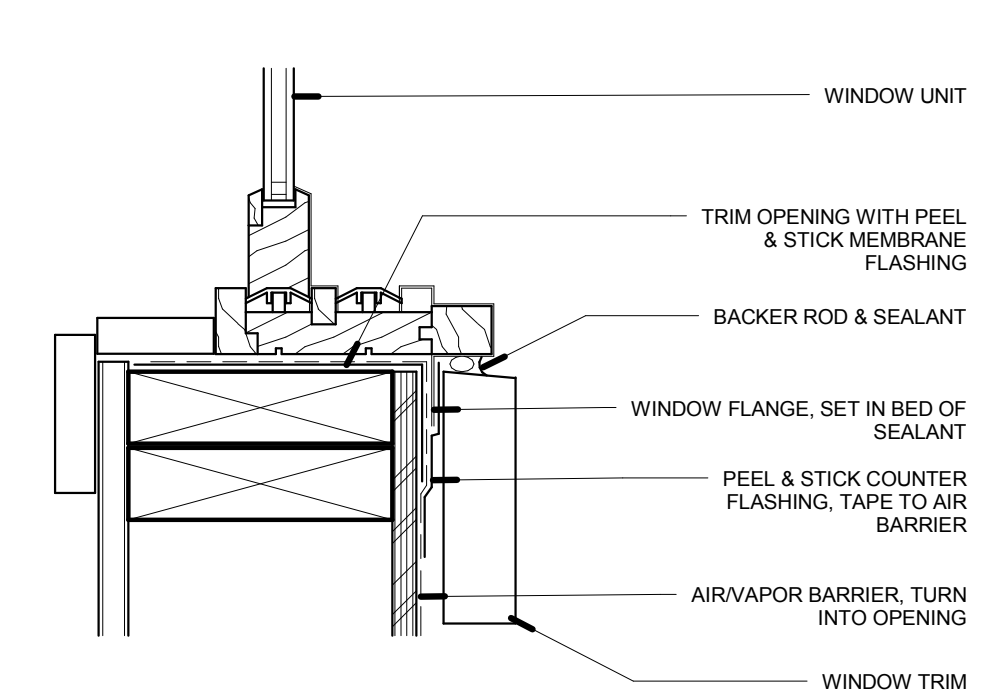
DATE: 05.19.11
PROJECT NO.
Project Number
A7-1

NOT FOR CONSTRUCTION

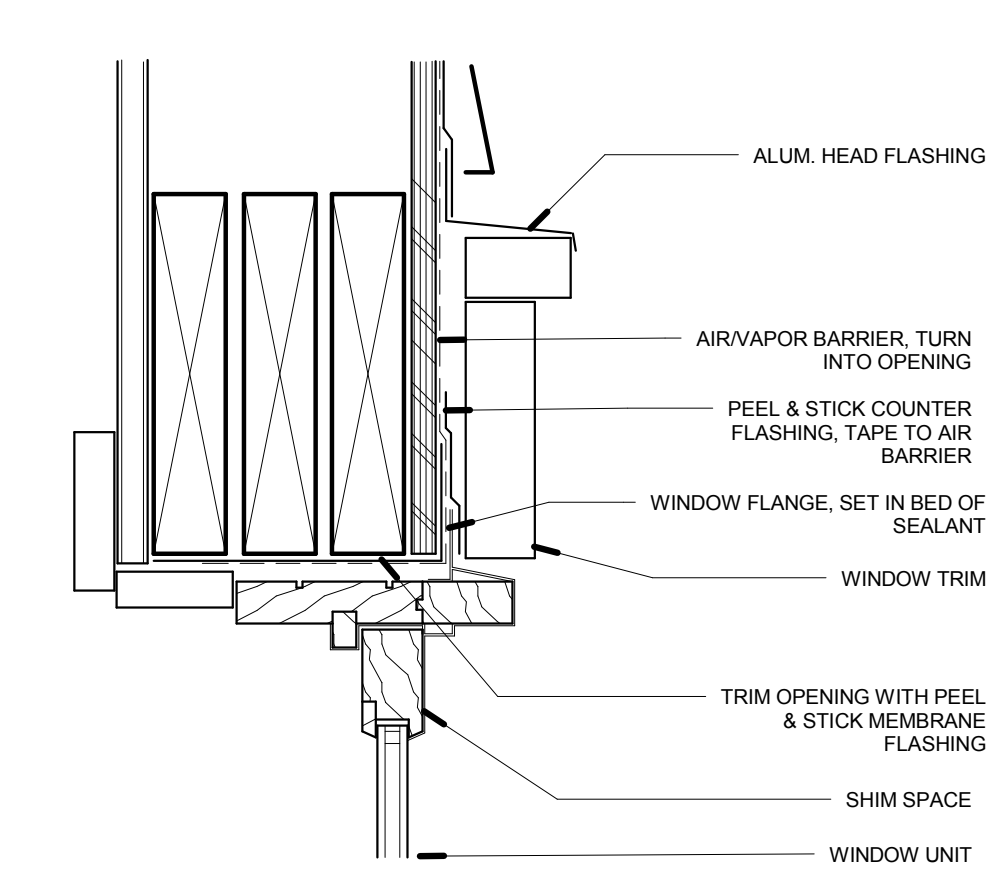
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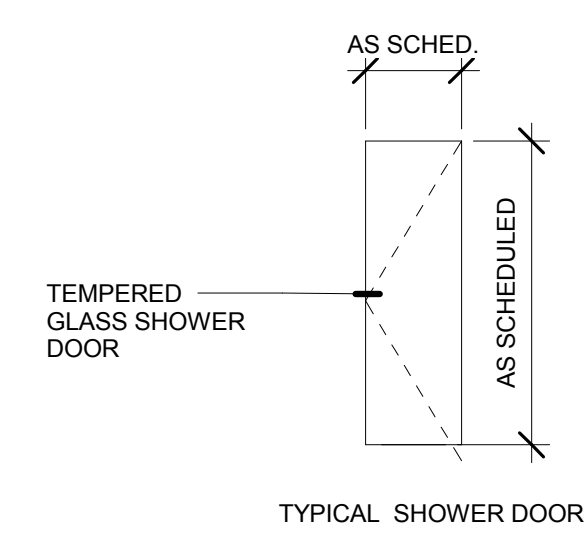
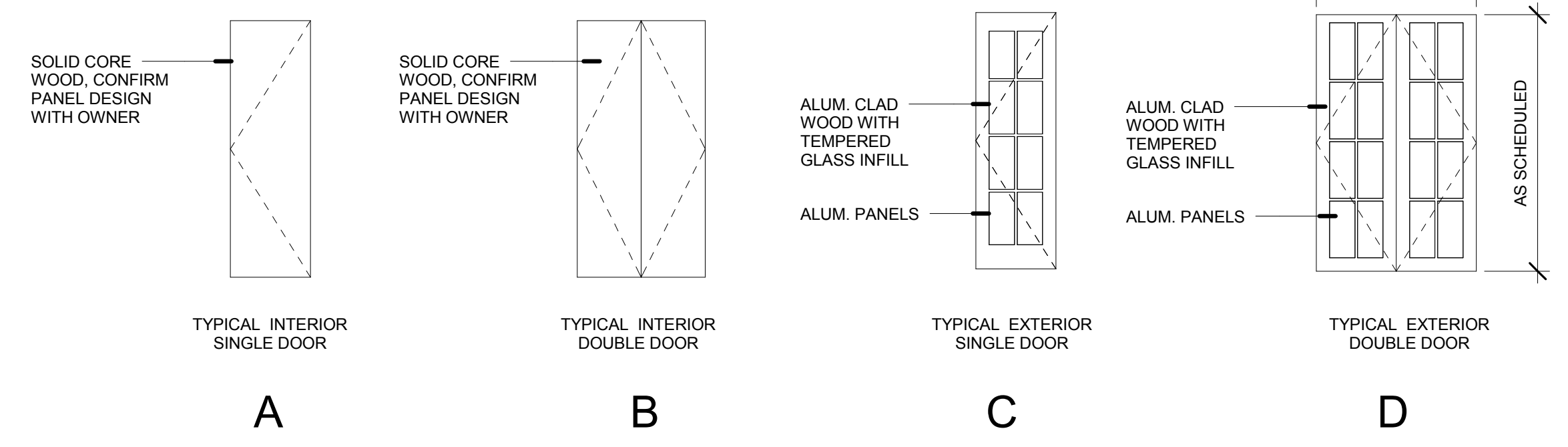
1 TYPICAL SILL DETAIL
A7-1 3" = 1'-0"



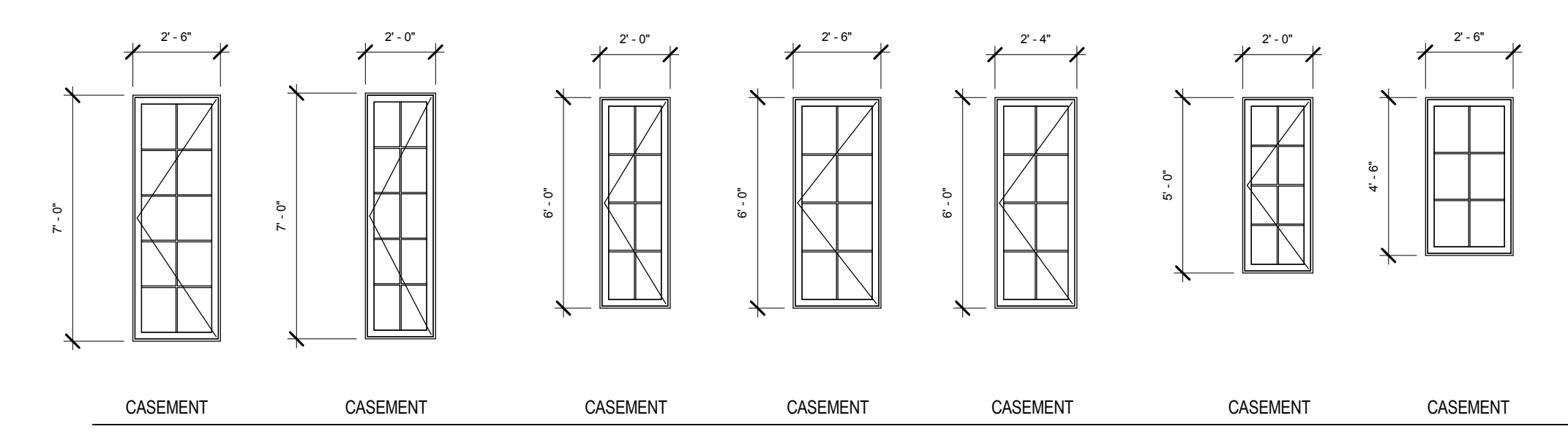
2 TYPICAL JAMB DETAIL
A7-1 3" = 1'-0"



3 TYPICAL HEAD DETAIL
A7-1 3" = 1'-0"



DOOR LEGEND
1/4" = 1'-0"



WINDOW LEGEND
1/4" = 1'-0"

PATIO DOOR HARDWARE FINISHES

BRIGHT BRASS PVD, BRUSHED NICKEL PVD, POLISHED CHROME, ANTIQUE BRASS, OIL RUBBED BRONZE, MATTE BLACK

SLIDING PATIO DOOR HARDWARE
Sliding patio doors feature a 3-point locking system for additional strength.

FRENCH SLIDING PATIO DOOR | **SLIDING PATIO DOOR**

SQUARE BACK PLATE, ARCHED BACK PLATE, ARCHED BACK PLATE, SQUARE BACK PLATE

HINGED PATIO DOOR HARDWARE
All hinged doors come standard with a 3-point locking system for added security.

ARCHED BACK PLATE, SQUARE BACK PLATE

EXTERIOR HARDWARE

SDL PROFILE OPTIONS

SDL INTERIOR WOOD PROFILE OPTIONS*

COLONIAL: 2", 1-3/8", 7/8", 5/8"
PUTTY: 2", 1-3/8", 7/8", 5/8"

Grille Choices For A Custom Appearance
Give your home its own distinctive look with a choice of simulated divided lite (SDL), aluminum airspace or removable wood perimeter grilles in an array of shapes and sizes, including specialty and custom grille patterns.

SDL EXTERIOR ALUMINUM PROFILE OPTIONS*

COLONIAL: 2", 1-3/8", 7/8"
PUTTY: 2", 1-3/8", 7/8", 5/8"

A wood colonial-style profile on the interior combined with an aluminum putty-glazed profile on the exterior is standard. Additional grille options not shown include: 5/8" Flat Aluminum Airspace Bar, 1 1/16" Sculptured Aluminum Airspace Bar, 15/16" Sculptured Aluminum Airspace Bar, 7/8" Wood Perimeter Exterior Bar.

MULLION PROFILE

NOTE:
ALL WINDOWS TO BE IMPACT RESISTANT PER
FLORIDA BUILDING CODE



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09.09.15	PERMIT ISSUE

Revision Schedule

Rev#	Description	Date
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CUMMINGS RESIDENCE

23 EAST RUSKIN-SEASIDE

ELECTRICAL PLAN - LEVEL 01

DATE: 05.19.11

PROJECT NO.
Project Number

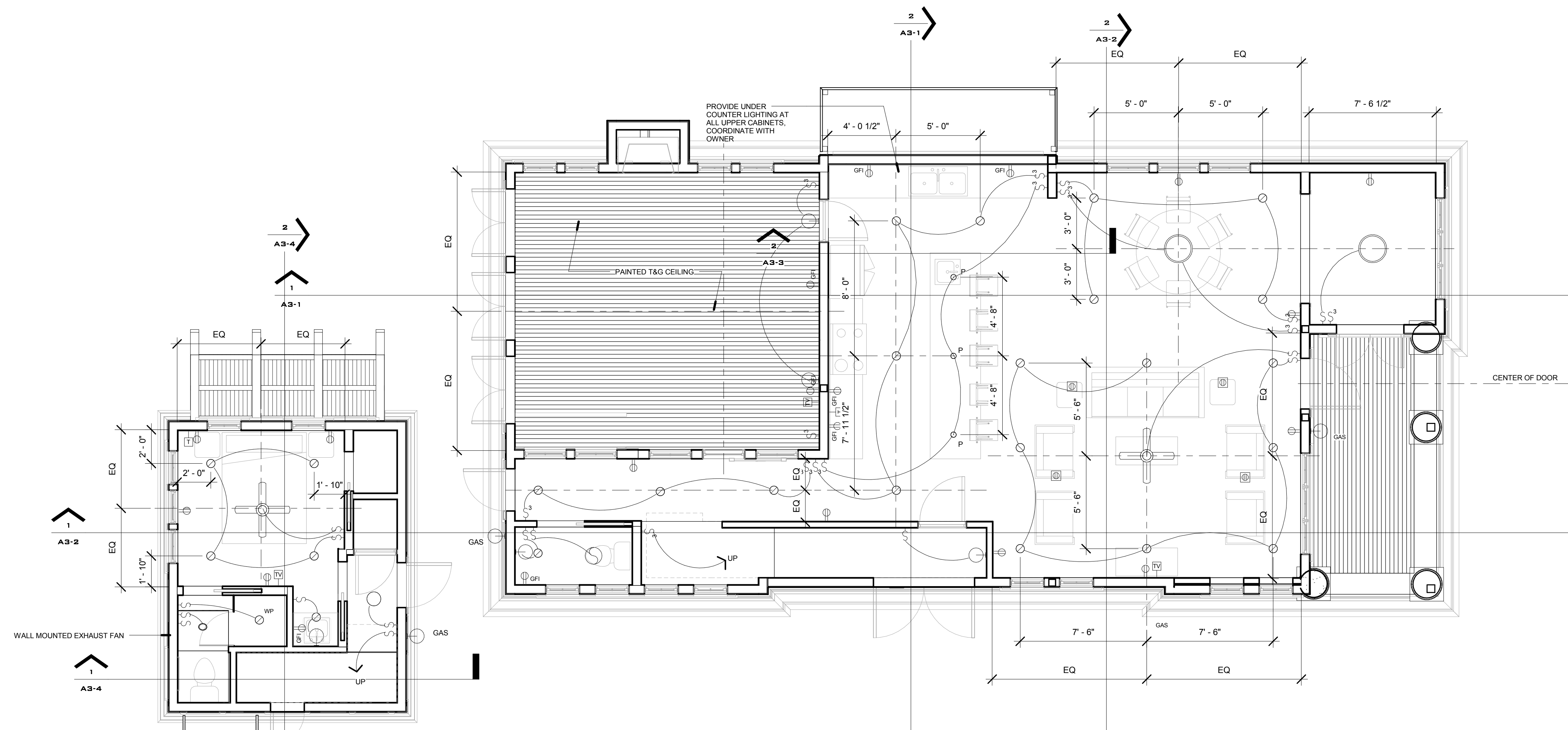
E1-1

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Electrical and Lighting Legend

	Exterior Waterproof Duplex Receptacle		Quad Receptacle Outlet
	Exterior Stake Uplight		Telephone Receptacle
	Exterior Path Downlight		Floor Telephone Receptacle
	Exterior Flush Step Downlight		Ground Fault Interrupter Circuit (GFI) (*42" indicates above finished floor)
	Exterior Wall Mounted Sconce or Lantern		Switch and Duplex Ground Fault Interrupter Combination
	Smoke Detector		Door-Activated Light Control
	Surface Mounted Light Fixture		Exhaust Fan
	Directional Recessed Can		Cable Television
	Recessed Can Fixture		Gas Feed Line
	Low Voltage Recessed Can		Doorbell
	Moisture Resistant Can Fixture		Wall Switch
	Ceiling Mounted Pendant Fixture		Dimmer Switch
	Wall Mounted Sconce		Three-Way Switch
	Duplex Receptacle Floor Outlet		Three-Way Dimmer Switch
	Duplex Receptacle Outlet		220-Volt Outlet
	Split-Wired Duplex Receptacle Outlet		Garage Door Switch
	Split-Wired Duplex Receptacle Floor Outlet		Exterior Flood Light
	Hose Bibb		Gas Lantern
	Under-Cabinet Mounted Fixture		Under Cabinet Puck Light
	Ceiling Fan		
	Garage Door Opener		

NOTES:
ALL CLOSET LIGHTING TO BE ACTIVATED BY DOOR SWITCH
ALL CAN LIGHTS IN BEDROOMS AND LIVING AREAS TO BE ON DIMMABLE SWITCHES INCLUDING 3-WAY DIMMERS
INSTALL SMOKE DETECTORS PER CODE
COORDINATE ALL FINAL OUTLET MOUNTING HEIGHTS AND LOCATIONS WITH OWNER AT KITCHEN/BATH AREAS.
COORDINATE ALL TV LOCATIONS AND MOUNTING HEIGHTS WITH OWNER.
COORDINATE ALL LANDSCAPE LIGHTING REQUIREMENTS WITH OWNER
ALL EXTERIO FIXTURES TO BE SUITABLE FOR EXTERIO USE
GC TO COORDINATE FINAL LIGHTING LAYOUT AT BATHROOMS BASED ON MIRROR SELECTION



CAN LIGHT FIXTURE:
USE LED LAMP WITH MAX 450 LUMENS



BEVOLO
Contemporary Flush Mount in Stainless Steel



GAS WALL SCONCE LIGHT FIXTURE
450 LUMEN MAX

SITE LIGHTING SCHEDULE:

LEVEL 01: (3) TOTAL GAS LAMPS	450 LUMENS MAX EACH	1,350 TOTAL LUMENS
LEVEL 04: (2) TOTAL LED CAN LIGHTS	450 LUMENS MAX EACH	900 TOTAL LUMENS
SITE TOTAL		2,250 TOTAL LUMENS

1 LEVEL 01
E1-1 1/4" = 1'-0"



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09.09.15	PERMIT ISSUE

Revision Schedule		
Rev#	Description	Date

CUMMINGS RESIDENCE

23 EAST RUSKIN-SEASIDE

ELECTRICAL PLANS - LEVEL 02

DATE: 05.19.11

PROJECT NO.
Project Number

E 1-2

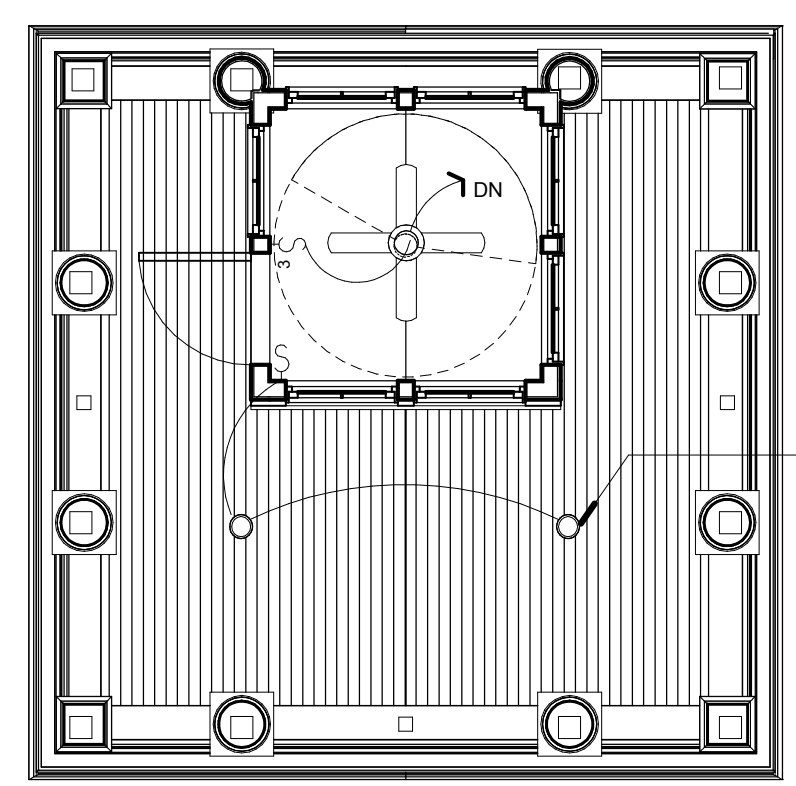
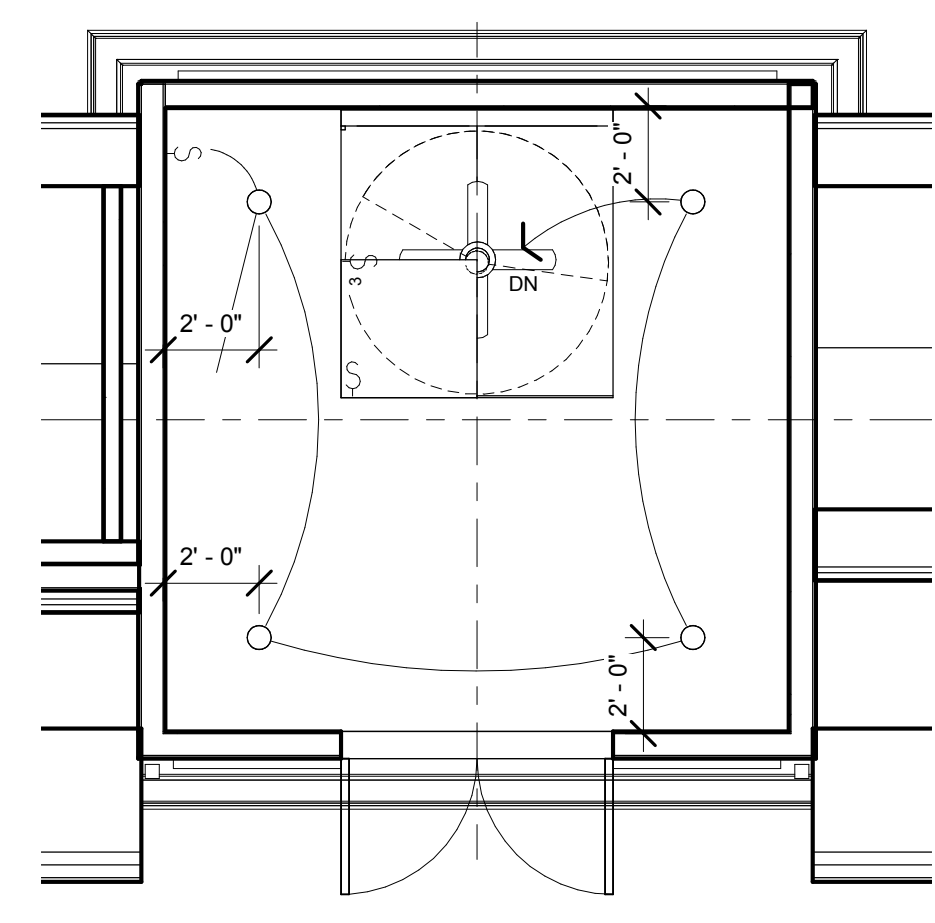
NOT FOR CONSTRUCTION

Electrical and Lighting Legend

	Exterior Waterproof Duplex Receptacle		Quad Receptacle Outlet
	Exterior Stake Uplight		Telephone Receptacle
	Exterior Path Downlight		Floor Telephone Receptacle
	Exterior Flush Step Downlight		Ground Fault Interrupter Circuit (GFI) (*42" indicates above finished floor)
	Exterior Wall Mounted Sconce or Lantern		Switch and Duplex Ground Fault Interrupter Combination
	Smoke Detector		Door-Activated Light Control
	Surface Mounted Light Fixture		Exhaust Fan
	Directional Recessed Can		Cable Television
	Recessed Can Fixture		Gas Feed Line
	Low Voltage Recessed Can		Doorbell
	Moisture Resistant Can Fixture		Wall Switch
	Ceiling Mounted Pendant Fixture		Dimmer Switch
	Wall Mounted Sconce		Three-Way Switch
	Duplex Receptacle Floor Outlet		Three-Way Dimmer Switch
	Duplex Receptacle Outlet		220-Volt Outlet
	Split-Wired Duplex Receptacle Outlet		Garage Door Switch
	Split-Wired Duplex Receptacle Floor Outlet		Exterior Flood Light
	Hose Bibb		Gas Lantern
	Under-Cabinet Mounted Fixture		Under Cabinet Puck Light
	Ceiling Fan		
	Garage Door Opener		

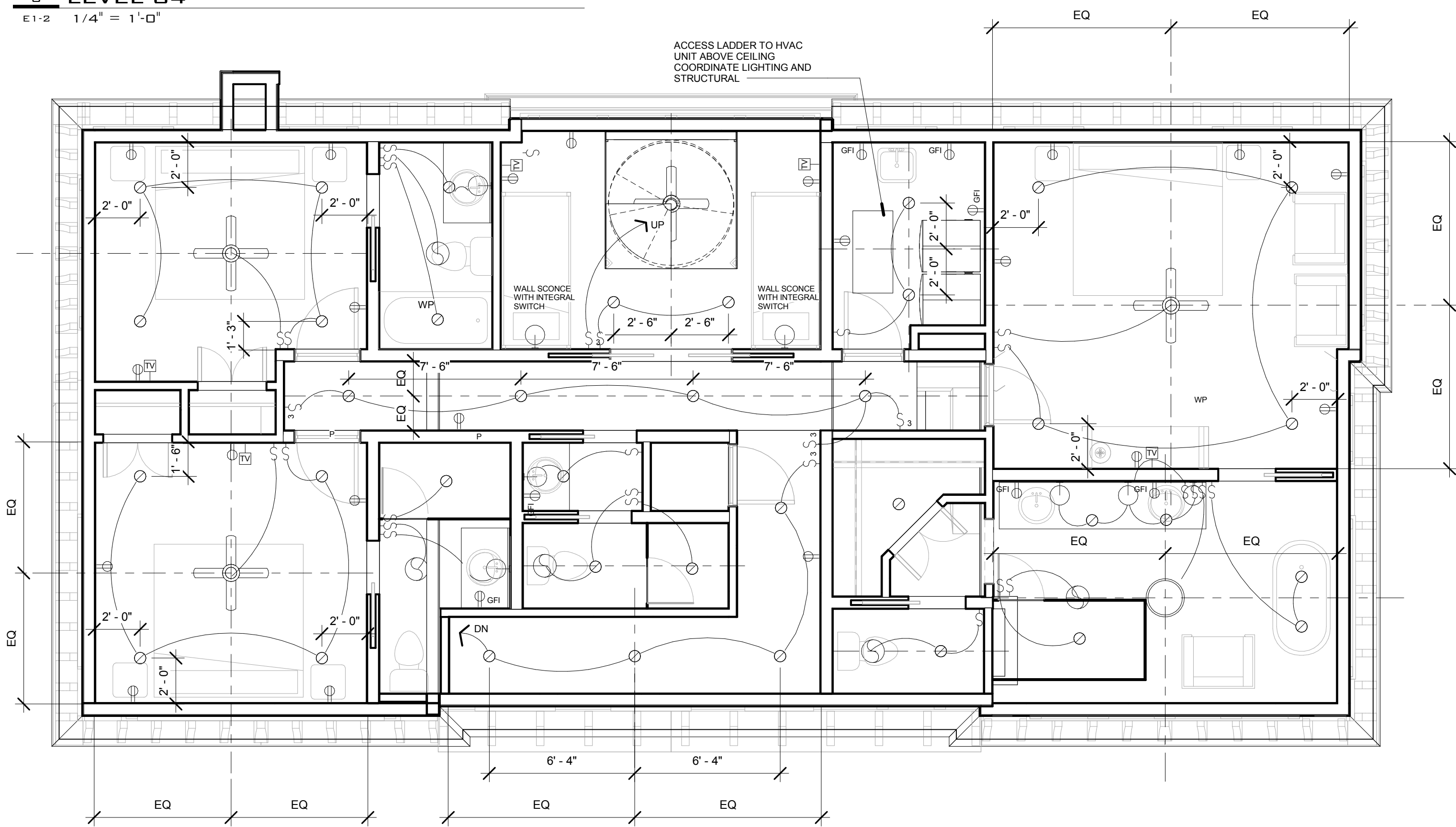
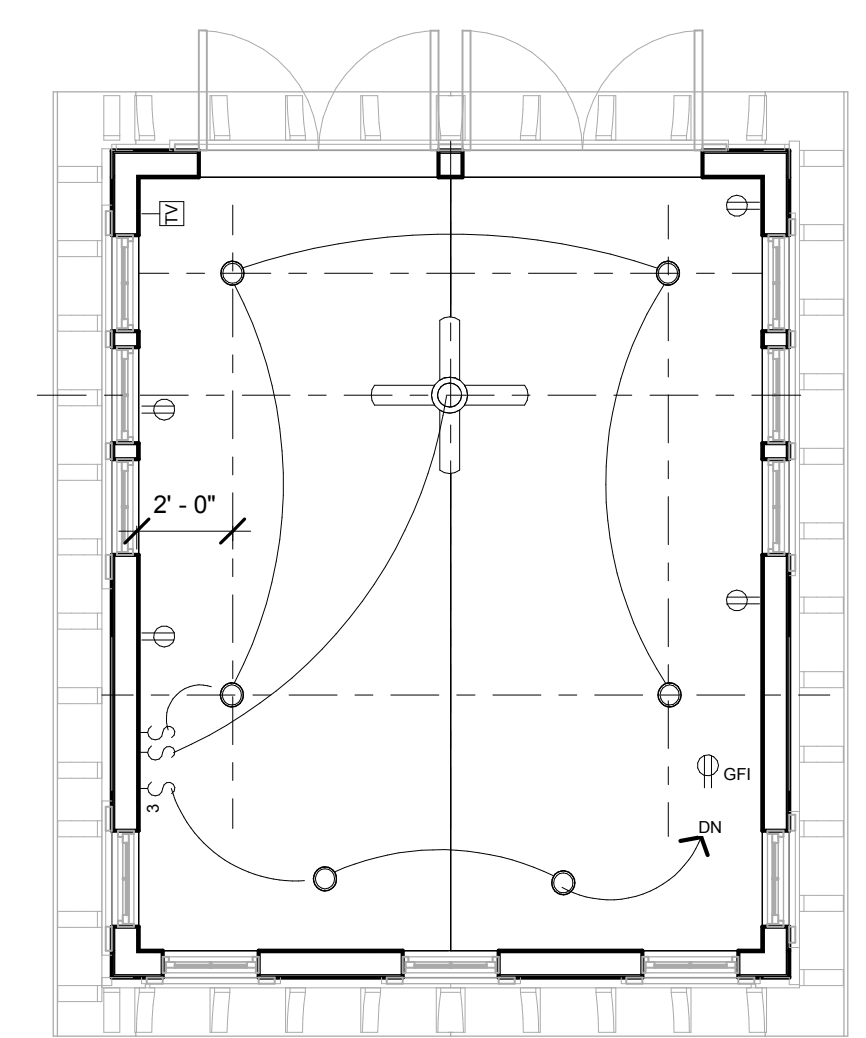
NOTES:
ALL CLOSET LIGHTING TO BE ACTIVATED BY DOOR SWITCH
ALL CAN LIGHTS IN BEDROOMS AND LIVING AREAS TO BE ON DIMMABLE SWITCHES. IN CASES OF 3-WAY SWITCHES, BOTH SWITCHES ARE TO BE DIMMABLE.
INSTALL SMOKE DETECTORS PER CODE
COORDINATE OUTLET MOUNTING HEIGHTS WITH OWNER AT KITCHEN/BATH AREAS.
COORDINATE ALL KITCHEN APPLIANCE SELECTIONS AND LOCATIONS WITH OWNER.
COORDINATE ALL TV LOCATIONS AND MOUNTING HEIGHTS WITH OWNER.
ALL EXTERIOR FIXTURES TO BE SUITABLE FOR EXTERIOR USE
GO TO COORDINATE FINAL LIGHTING LAYOUT AT BATHROOMS BASED ON MIRROR SELECTION

LED CAN LIGHT FIXTURE
450 LUMENS MAX EACH LIGHT

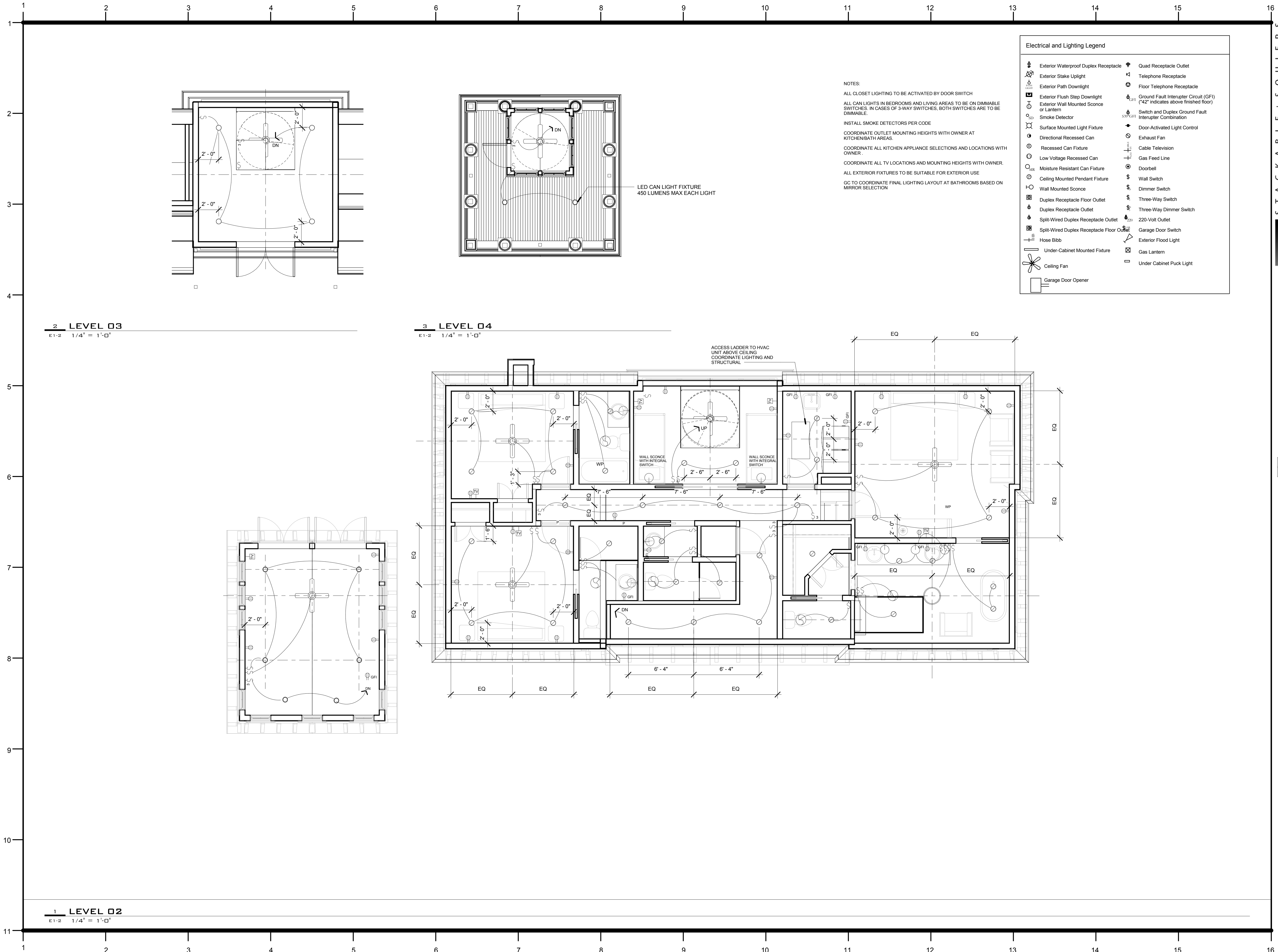


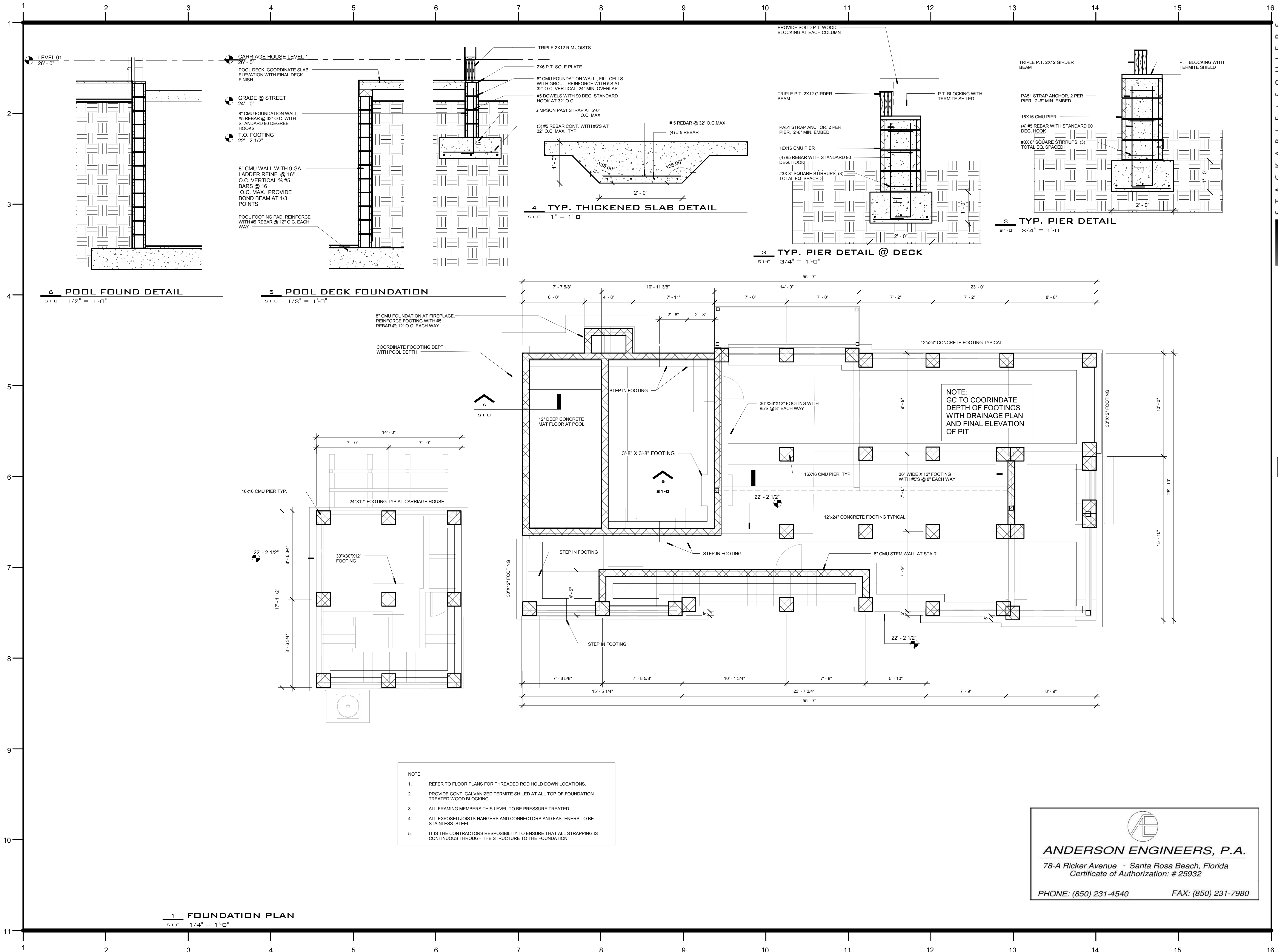
2 LEVEL 03
E1-2 1/4" = 1'-0"

3 LEVEL 04
E1-2 1/4" = 1'-0"



1 LEVEL 02
E1-2 1/4" = 1'-0"





LEVEL 01
26'-0"

CARRIAGE HOUSE LEVEL 1
26'-0"

GRADE @ STREET
24'-0"

T.O. FOOTING
22'-2 1/2"

8" CMU WALL WITH 9 GA. LADDER REINF. @ 16" O.C. VERTICAL. #5 BARS @ 16" O.C. MAX. PROVIDE BOND BEAM AT 1/3 POINTS.

POOL FOOTING PAD, REINFORCE WITH #5 REBAR @ 12" O.C. EACH WAY.

TRIPLE 2X12 RIM JOISTS

2X8 P.T. SOLE PLATE

8" CMU FOUNDATION WALL. FILL CELLS WITH GROUT. REINFORCE WITH #5'S AT 32" O.C. VERTICAL. 24" MIN. OVERLAP.

#5 DOWELS WITH 90 DEG. STANDARD HOOK AT 32" O.C.

SIMPSON PA51 STRAP AT 5'-0" O.C. MAX.

(3) #5 REBAR CONT. WITH #5'S AT 32" O.C. MAX. TYP.

#5 REBAR @ 32" O.C. MAX.

(4) #5 REBAR

4 TYP. THICKENED SLAB DETAIL
5/16" 1" = 1'-0"

PROVIDE SOLID P.T. WOOD BLOCKING AT EACH COLUMN

TRIPLE P.T. 2X12 GIRDER BEAM

PA51 STRAP ANCHOR, 2 PER PIER, 2'-6" MIN. EMBED

16X16 CMU PIER

(4) #5 REBAR WITH STANDARD 90 DEG. HOOK

#3X8" SQUARE STIRRUPS, (5) TOTAL EQ. SPACED

P.T. BLOCKING WITH TERMITE SHILED

3 TYP. PIER DETAIL @ DECK
5/16" 3/4" = 1'-0"

TRIPLE P.T. 2X12 GIRDER BEAM

PA51 STRAP ANCHOR, 2 PER PIER, 2'-6" MIN. EMBED

16X16 CMU PIER

(4) #5 REBAR WITH STANDARD 90 DEG. HOOK

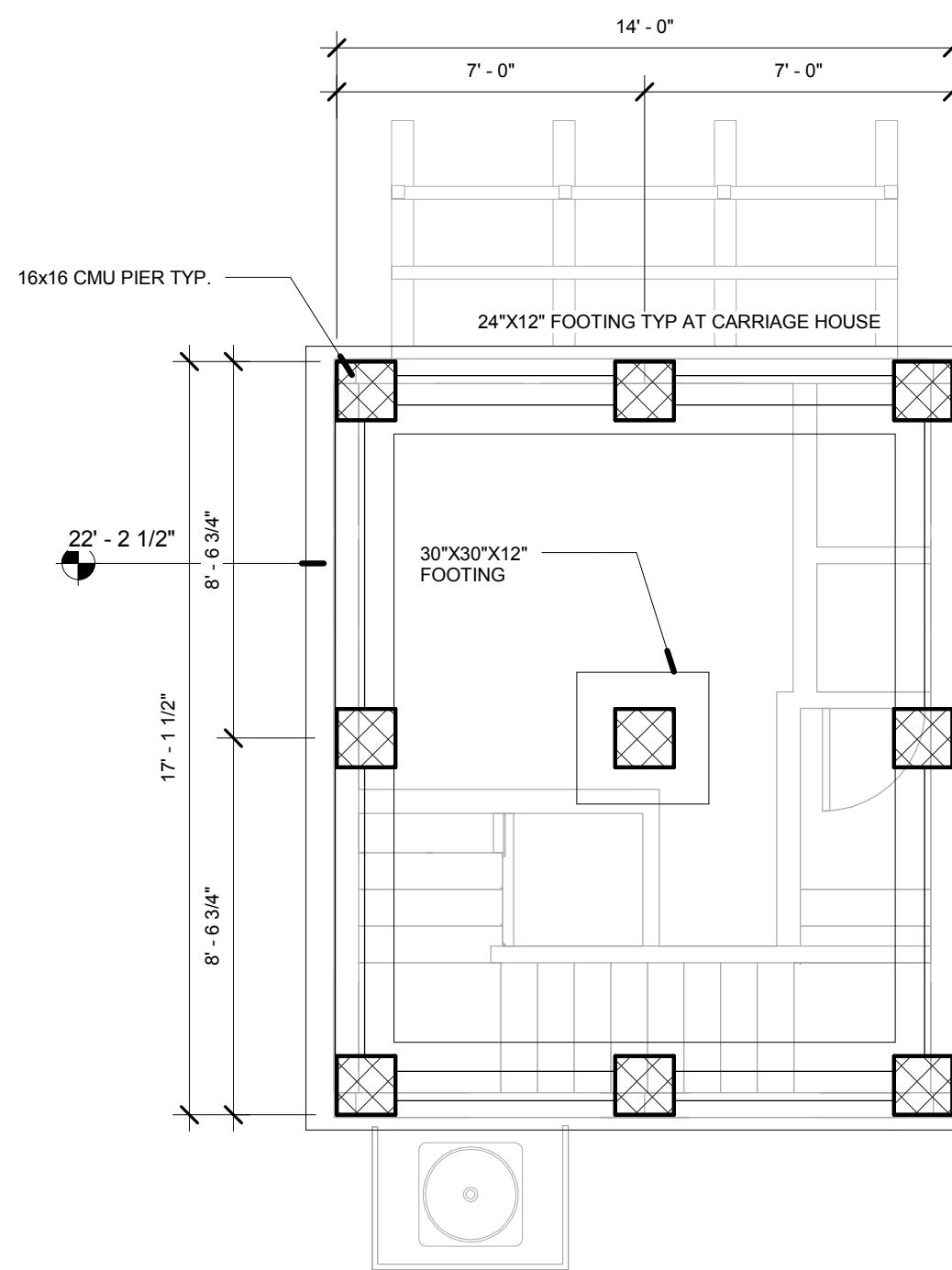
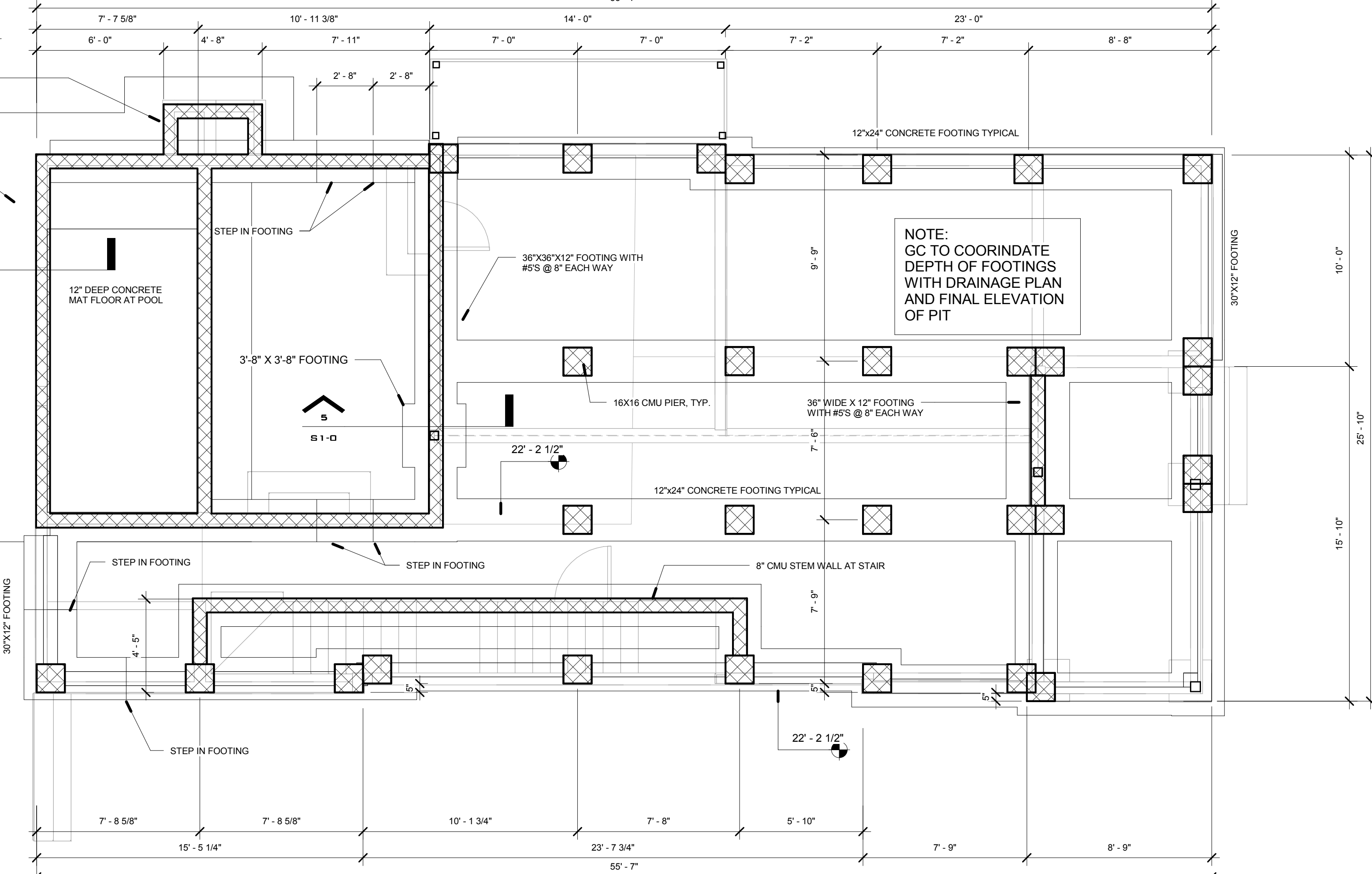
#3X8" SQUARE STIRRUPS, (5) TOTAL EQ. SPACED

P.T. BLOCKING WITH TERMITE SHILED

2 TYP. PIER DETAIL
5/16" 3/4" = 1'-0"

6 POOL FOUND DETAIL
5/16" 1/2" = 1'-0"

5 POOL DECK FOUNDATION
5/16" 1/2" = 1'-0"



NOTE:

- REFER TO FLOOR PLANS FOR THREADED ROD HOLD DOWN LOCATIONS.
- PROVIDE CONT. GALVANIZED TERMITE SHILED AT ALL TOP OF FOUNDATION TREATED WOOD BLOCKING
- ALL FRAMING MEMBERS THIS LEVEL TO BE PRESSURE TREATED.
- ALL EXPOSED JOISTS HANGERS AND CONNECTORS AND FASTENERS TO BE STAINLESS STEEL.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL STRAPPING IS CONTINUOUS THROUGH THE STRUCTURE TO THE FOUNDATION.

1 FOUNDATION PLAN
5/16" 1/4" = 1'-0"


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09.09.15	PERMIT ISSUE

Revision Schedule		
Rev#	Description	Date

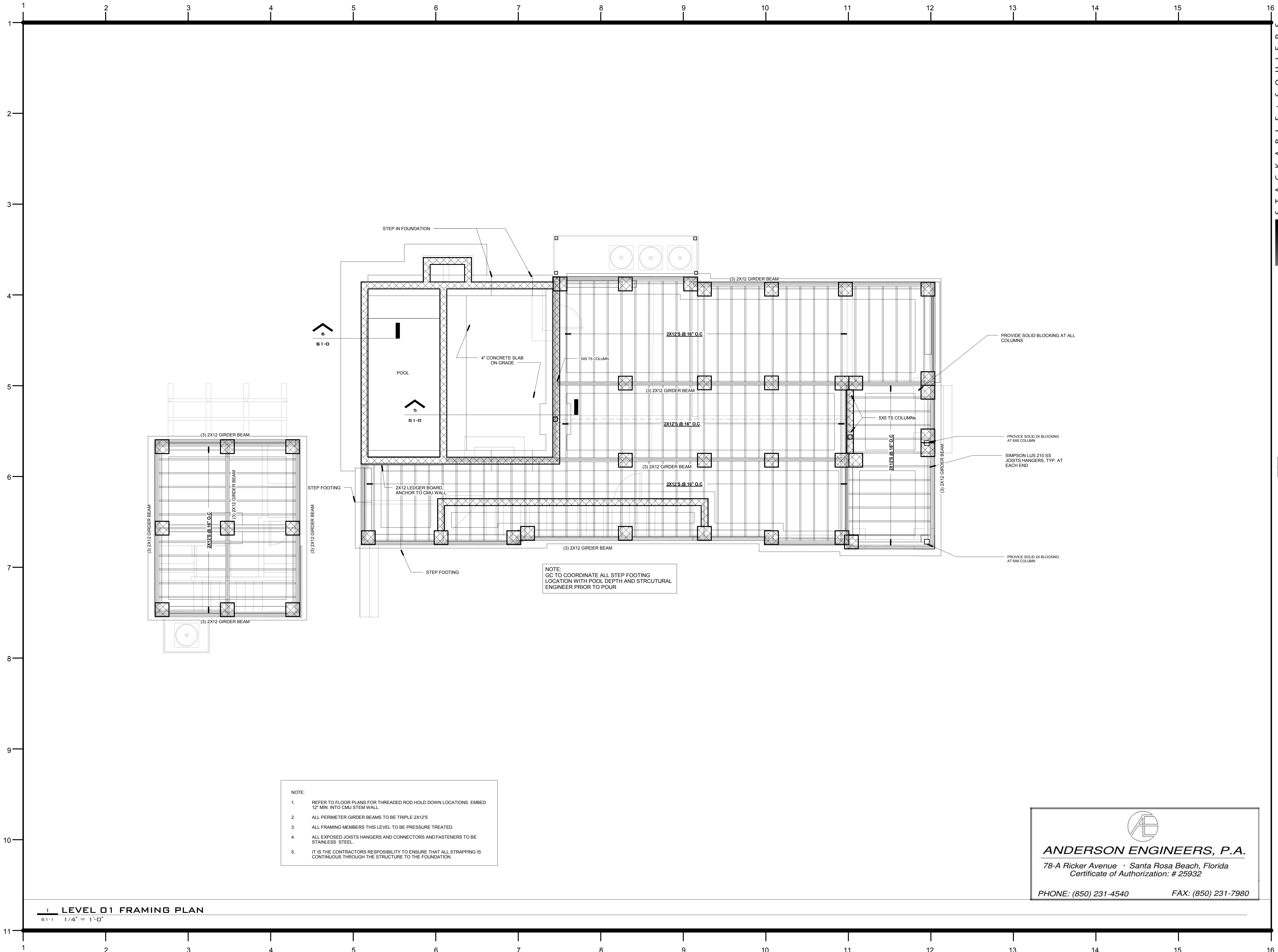
CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
 FOUNDATION PLAN

DATE: 04/02/15

PROJECT NO.
Project Number

51-0

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- NOTE:
- REFER TO FLOOR PLANS FOR THREADED ROD HOLD DOWN LOCATIONS. EMBED 12" MIN. INTO CMU STEM WALL.
 - ALL PERIMETER GIRDER BEAMS TO BE TRIPLE 2X12'S
 - ALL FRAMING MEMBERS THIS LEVEL TO BE PRESSURE TREATED.
 - ALL EXPOSED JOISTS HANGERS AND CONNECTORS AND FASTENERS TO BE STAINLESS STEEL.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT ALL STRAPPING IS CONTINUOUS THROUGH THE STRUCTURE TO THE FOUNDATION.

NOTE:
GC TO COORDINATE ALL STEP FOOTING LOCATION WITH POOL DEPTH AND STRCUTURAL ENGINEER PRIOR TO POUR

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1 LEVEL 01 FRAMING PLAN
 S1-1 1/4" = 1'-0"

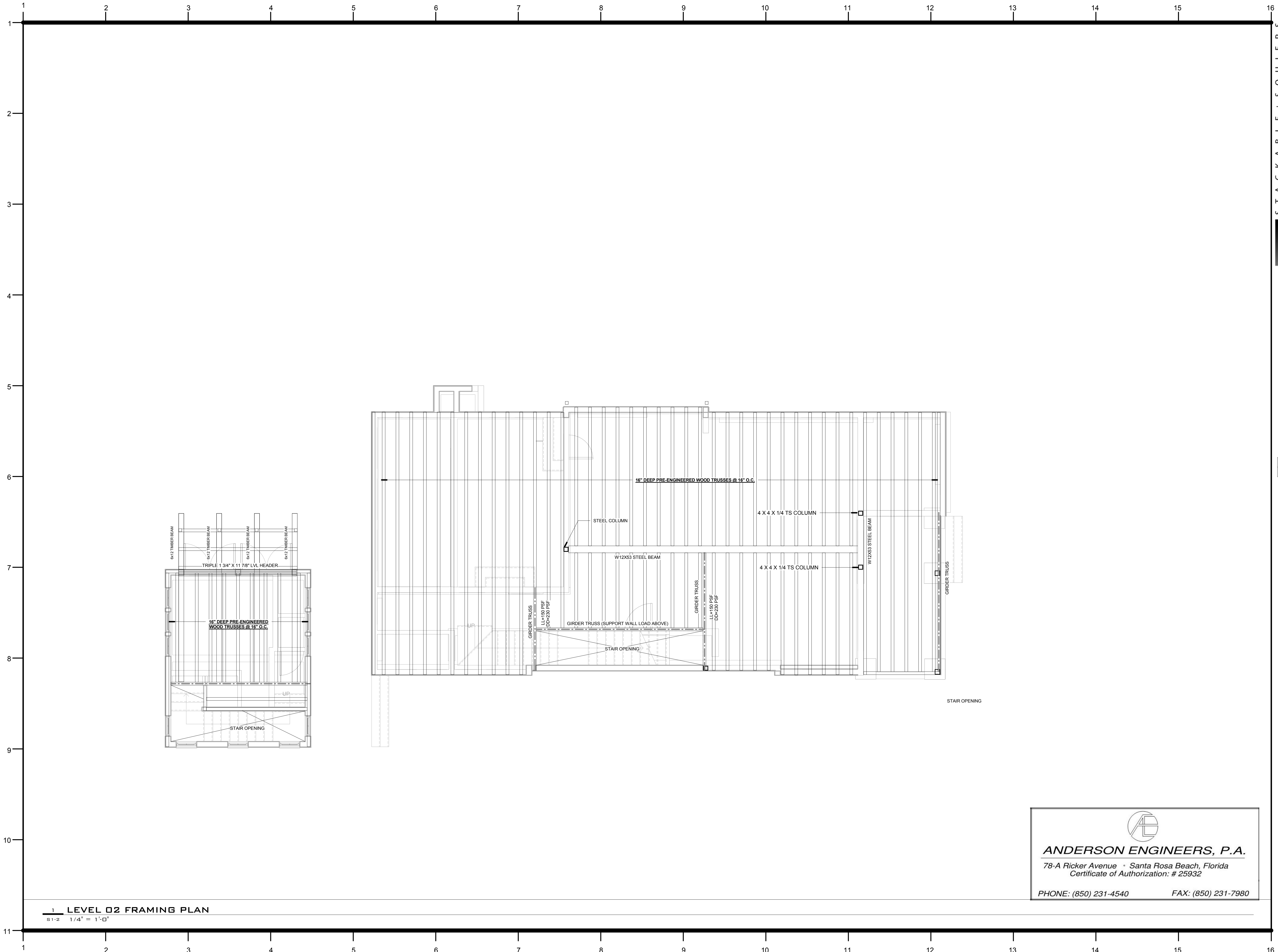
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Rev#	Description	Date

CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
LEVEL 01 FRAMING PLAN
 DATE: 10/07/12
 PROJECT NO.
 Project Number
S1-1
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1 LEVEL 02 FRAMING PLAN
 S1-2 1/4" = 1'-0"

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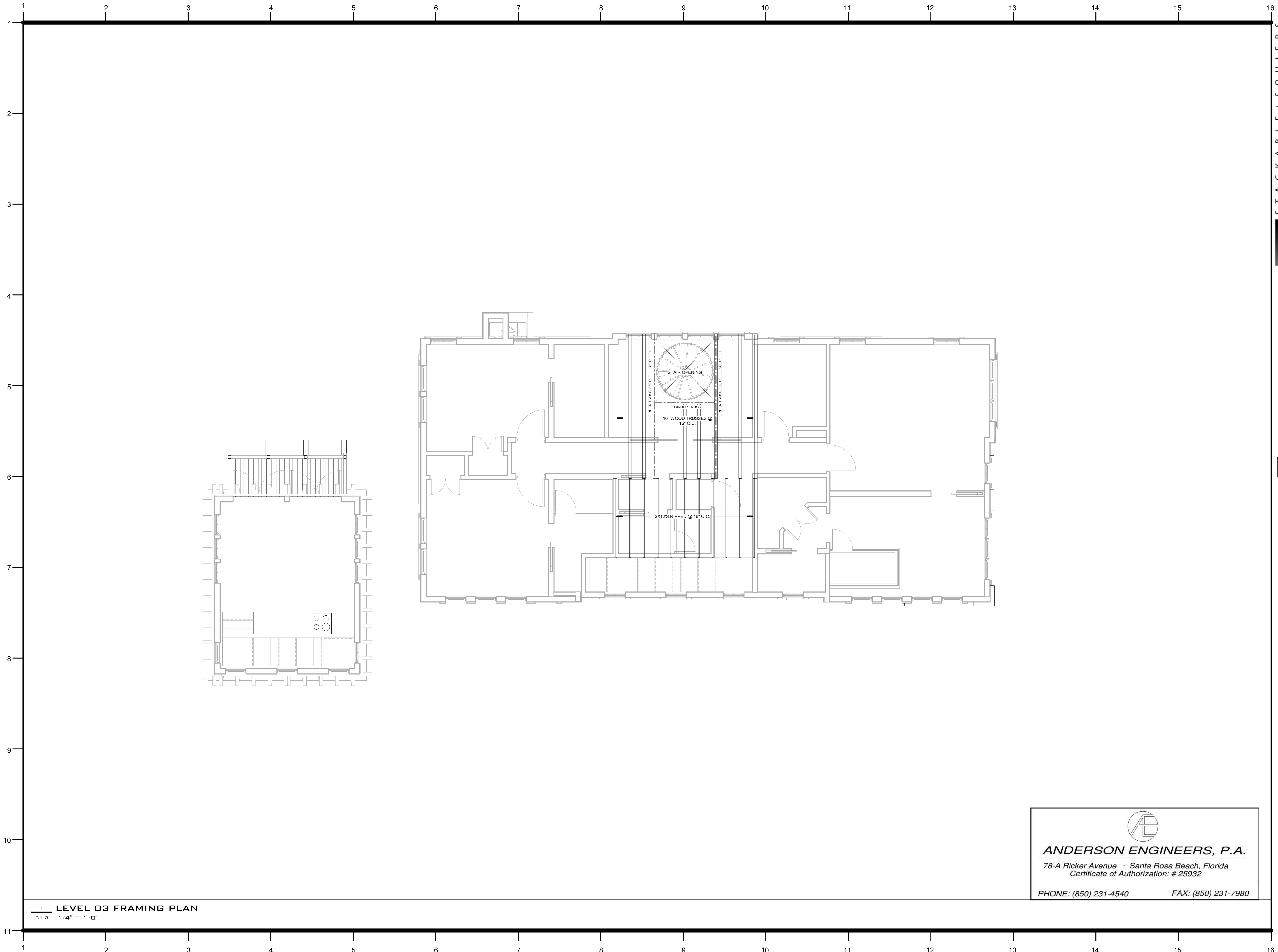
CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
 LEVEL 02 FRAMING PLAN

DATE: 05.19.11


PROJECT NO.
 Project Number

S 1-2

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1 LEVEL 03 FRAMING PLAN
 S1-3 1/4" = 1'-0"


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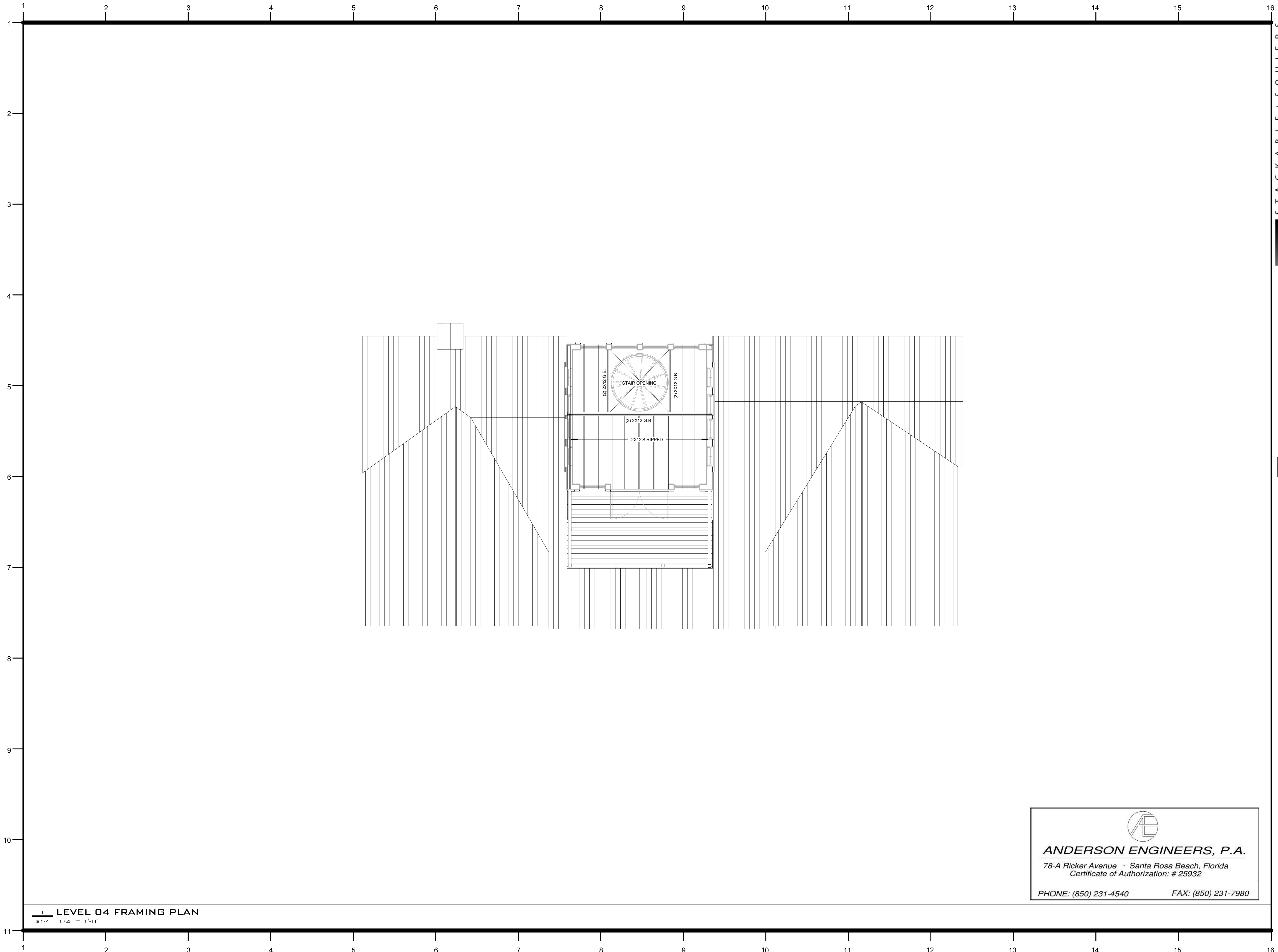
CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
LEVEL 03 FRAMING PLAN

DATE: 10/04/12

PROJECT NO.
 Project Number

S 1 - 3

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1 LEVEL 04 FRAMING PLAN
 S1-4 1/4" = 1'-0"

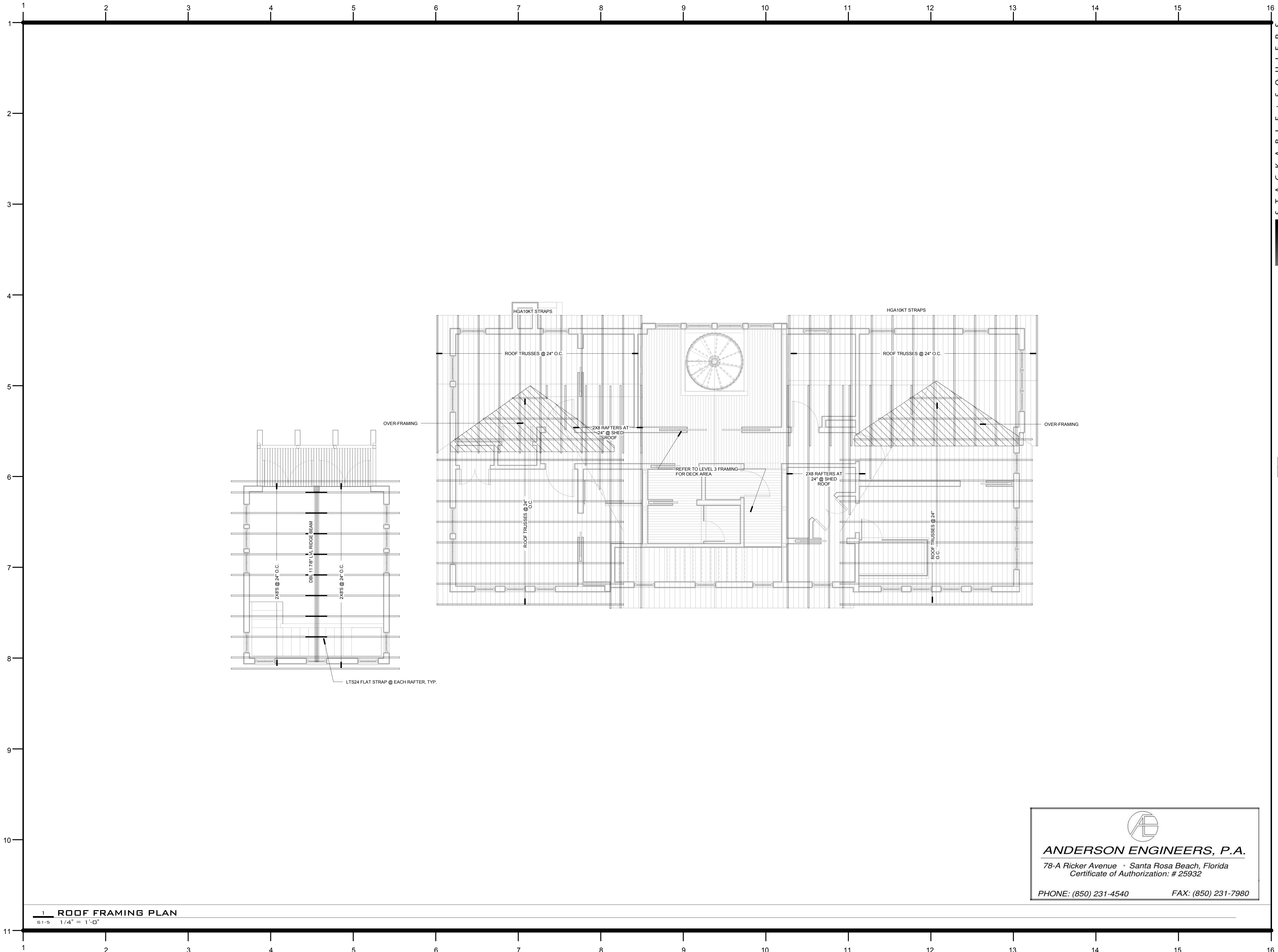
CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
LEVEL 04 FRAMING PLAN

DATE: 03/06/15

PROJECT NO.
Project Number

S 1-4

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1 ROOF FRAMING PLAN
 S1-5 1/4" = 1'-0"


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CUMMINGS RESIDENCE
 23 EAST RUSKIN-SEASIDE
ROOF FRAMING PLAN

DATE: 03/06/15
 PROJECT NO.
 Project Number

S1-5

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00.00 GENERAL

00.01 ALL CONSTRUCTION SHALL CONFORM TO THE FLORIDA BUILDING CODE, 2010 EDITION. REFERENCE TO OTHER CODES OR STANDARD SPECIFICATIONS REFER TO THE LATEST EDITION OF SUCH CODES OR SPECIFICATIONS, UNLESS STATED OTHERWISE.

00.02 THE CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND CIVIL WORKS DOCUMENTS WITH THE STRUCTURAL CONTRACT DOCUMENTS. NOTIFICATION SHALL BE MADE TO THE STRUCTURAL ENGINEER AND ARCHITECT OF ANY CONFLICT AND/OR OMISSIONS.

00.03 THE DRAWINGS SHOWN ARE FOR TYPICAL AND CERTAIN SPECIFIC CONDITIONS ONLY. PROVIDE DETAILS SIMILAR TO THOSE SHOWN FOR DETAILS THAT ARE NOT SPECIFICALLY SHOWN.

00.04 FOR DIMENSIONS NOT SHOWN ON THE STRUCTURAL CONTRACT DOCUMENTS, SEE THE ARCHITECTURAL DRAWINGS.

00.05 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO STARTING WORK. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES IN EXISTING SITE CONDITIONS, DIMENSIONS, OR ELEVATIONS TO THOSE SHOWN IN THE STRUCTURAL CONTRACT DOCUMENTS.

00.06 THE REVIEW OF SUBMITTALS AND/OR SHOP DRAWINGS BY THE STRUCTURAL ENGINEER DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW AND CHECK SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE STRUCTURAL ENGINEER. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR ERRORS AND OMISSIONS ASSOCIATED WITH THE PREPARATION OF SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, AND DIMENSIONS SPECIFIED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR ALSO SHALL BE RESPONSIBLE FOR MEANS, METHOD, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

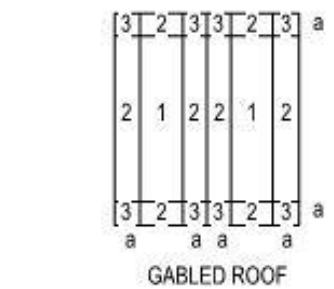
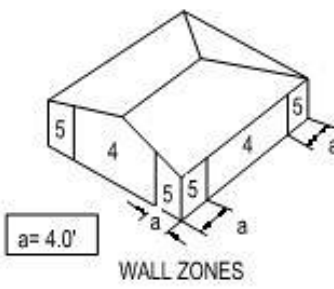
00.07 THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND ERECTION OF SAFE AND ADEQUATE BRACING, SHORING, TEMPORARY SUPPORTS, ETC. REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION.

00.08 IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ANDERSON ENGINEERS, P.A. IN WRITING.

10.00 STRUCTURAL LOADS

10.01 SUPERIMPOSED DEAD LOADS: DEAD LOADS SHALL BE TAKEN AS THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTIONS OR OTHERWISE SATISFACTORY VALUES DESCRIBED IN THE FLORIDA BUILDING CODE.

Table with 2 columns: Category and Value. Includes Uninhabitable Attics (20 psf), Habitable Attics, Bedrooms (30 psf), All Other Rooms (40 psf), Rafters (40 psf), and Roofs (20 psf).



Wind Design Data table including Ultimate Wind Speed (138 mph), Nominal Wind Speed (107 mph), Risk Category (II), Wind Exposure (D), Enclosure Classification (Enclosed), Internal Pressure Coefficient (0.18 +/-), Components and Cladding Design Pressures, and Flood Design Data (Flood Zone: X).

COMPONENTS & CLADDING PRESSURES (ALLOWABLE STRESS DESIGN)

ALL COMPONENTS TO BE ZONE 4 UNLESS OTHERWISE CALLED OUT. MEASURED FROM THE EXTERIOR CORNERS OF THE BUILDING. WINDOWS (ZONE 4): DP +20 / -20 PSF. WINDOWS (ZONE 5): DP +20 / -25 PSF. DOORS (ZONE 4): DP +20 / -20 PSF. DOORS (ZONE 5): DP +20 / -25 PSF. GARAGE DOORS: DP +XX / -XX PSF.

ALL EXTERIOR GLAZED OPENINGS SHALL BE PROTECTED FROM WIND-BORNE DEBRIS AS PER SECTION 1609.1.2 OF THE 2010 FLORIDA BUILDING CODE.

10.04 FLOOD DESIGN DATA FLOOD ZONE X

20.00 FOUNDATIONS AND SLAB-ON-GRADE

20.01 THE DESIGN OF FOUNDATIONS AND SLAB-ON-GRADE IS BASED ON AN ASSUMED MINIMUM BEARING CAPACITY OF 2,000 PSF. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IF QUESTIONABLE SOIL CONDITIONS ARE ENCOUNTERED.

20.02 THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS-ON-GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION.

20.03 FILL MATERIALS SHOULD BE RELATIVELY CLEAN SANDS, SIMILAR TO THE EXISTING ON-SITE SOILS, WITH LESS THAN 12 PERCENT FINES MATERIAL PASSING THE NO. 200 SIEVE, AND FREE OF NON-SOIL MATERIALS. CONSTRUCTION DEBRIS, ROCK FRAGMENTS LARGER THAN 3 INCHES IN DIAMETER AND ANY OTHER FOREIGN MATERIAL, FILL MATERIALS THAT CONTAIN ORGANIC DEBRIS ARE NOT SUITABLE FOR REUSE AS STRUCTURAL FILL.

20.04 FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 12-INCH) AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). FILL MATERIALS USED IN STRUCTURAL AREAS SHOULD HAVE A TARGET MAXIMUM DRY DENSITY OF 95 PCF OR GREATER.

20.05 FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.

20.06 THE CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

30.00 CONCRETE AND REINFORCING STEEL

30.01 CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF ACI 318.

30.02 ALL CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI FOR FIRST FLOOR SLABS AND FOOTINGS WITH 4,000 PSI IN BEAMS & COLUMNS.

30.03 NOMINAL MAXIMUM SIZE OF COARSE AGGREGATE SHALL NOT BE LARGER THAN 1/5 THE NARROWEST DIMENSION BETWEEN SIDES OF FORMS, 1/3 THE DEPTH OF SLABS, NOR 3/4 THE MINIMUM CLEAR SPACING BETWEEN INDIVIDUAL REINFORCING BARS OR WIRES.

30.04 THE MATERIALS AND MIX DESIGN SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNERS TESTING LABORATORY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING THE REQUIRED DESIGN STRENGTH.

CONTRACTOR NOTE: VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO START OF CONSTRUCTION

30.00 CONCRETE AND REINFORCING STEEL (CONT'D)

30.05 CALCIUM CHLORIDE, CHLORIDE IONS, OR OTHER SALTS ARE NOT PERMITTED TO BE USED IN CONCRETE.

30.06 CONCRETE (OTHER THAN HIGH-EARLY-STRENGTH) SHALL BE MAINTAINED ABOVE 50°F (10°C) AND IN A MOIST CONDITION FOR AT LEAST THE FIRST 7 DAYS AFTER PLACEMENT EXCEPT WHEN CURED IN ACCORDANCE WITH FLORIDA BUILDING CODE SECTION 1906.5.3 SPECIFICATION ON ACCELERATED CURING.

30.07 ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND ALL REINFORCEMENT, FORMS, FILLERS, AND GROUND IN WHICH CONCRETE IS TO COME INTO CONTACT DURING FREEZING OR NEAR-FREEZING WEATHER.

30.08 ALL REINFORCING STEEL PLACEMENT SHALL BE REVIEWED BY A REGISTERED STRUCTURAL ENGINEER OR BY THEIR REPRESENTATIVE.

30.09 ALL REINFORCEMENT SHALL BE BENT COLD, UNLESS OTHERWISE APPROVED BY THE E.O.R.

30.10 SHOP DRAWINGS SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING REINFORCING STEEL SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION.

30.11 ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-02 AND THE MANUALS OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, ACI 315 (LATEST EDITION).

30.12 REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED.

30.13 WELDED WIRE FABRIC (MESH) SHALL CONFORM TO ASTM A185.

30.14 ALL WELDED WIRE FABRIC SHALL BE LAPPED MIN. ONE FULL MESH PANEL PLUS 2' AT SIDES AND ENDS AND SHALL BE WIRED TOGETHER.

30.15 ALL REINFORCING STEEL AND EMBEDMENTS SHALL BE SECURELY TIED AND SUFFICIENTLY SUPPORTED TO MAINTAIN THE POSITION WITHIN SPECIFIED TOLERANCES DURING ALL CONSTRUCTION ACTIVITIES.

30.16 CONTINUOUS REINFORCEMENT SHALL BE PROVIDED WHEREVER POSSIBLE. REINFORCEMENT SHALL BE SPLICED ONLY AS SHOWN OR NOTED IN THE STRUCTURAL CONTRACT DOCUMENTS.

30.17 CLEAR CONCRETE COVER FOR REINFORCEMENT SHALL BE: - BEAMS AND COLUMNS: EXPOSED TO WEATHER 2" NO EXPOSURE TO WEATHER 1-1/2" - SLABS: IN CONTACT WITH EARTH 3" EXPOSED TO WEATHER 1-1/2" NO EXPOSURE TO WEATHER 3/4"

30.18 REINFORCING STEEL SHALL NOT BE WELDED OR TACK WELDED UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

30.19 ALL STEEL REINFORCING AND WELD WIRE MESH USED IN SLAB-ON-GRADE CONSTRUCTION IS REQUIRED TO BE SUPPORTED IN THE CENTER TO UPPER ONE THIRD OF THE SLAB.

30.20 WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

40.00 MASONRY

40.01 DESIGN, MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA BUILDING CODE AND BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES OF ACI 530-1.0 / ASCE 6-02.

40.02 CONCRETE BLOCKS USED FOR FIRE-RESISTIVE WALLS RATED 2 HOURS OR MORE, OR USED FOR LOAD-BEARING OR EXTERIOR WALLS, SHALL HAVE A MINIMUM FINISH FACE SHELL THICKNESS OF 1-1/4". A MINIMUM WEB THICKNESS OF 1", AND SHALL HAVE A NET CROSS-SECTIONAL AREA NOT LESS THAN 50 PERCENT OF THE GROSS SECTION WITH Fm=1500 PSI.

40.03 STANDARD UNITS OF HOLLOW CONCRETE BLOCK SHALL CONFORM TO THE "STANDARD SPECIFICATION FOR HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS," ASTM C 90, EXCEPT THAT THE MAXIMUM MOISTURE CONTENT SHALL NOT EXCEED 50 PERCENT OF THE TOTAL ABSORPTION.

40.04 ALL MORTARS AND THE MATERIALS THEREIN SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR MORTAR OF MASONRY UNITS," ASTM C 270.

40.05 GROUT TO BE 3000 PSI AND SHALL BE IN ACCORDANCE WITH ASTM C476, STANDARD SPECIFICATION. COURSE GROUT MAY ONLY BE USED WITH 8" AND 12" CMU.

40.06 WHEN MIXING GROUT FOR MASONRY, A SLUMP TEST IS REQUIRED FOR EACH BATCH TO ENSURE EACH MEETS THE 8" TO 11" SLUMP REQUIRED.

40.07 EXTERIOR WALLS OF UNIT MASONRY SHALL HAVE A MINIMUM THICKNESS OF 8"; HOWEVER, AS PER FLORIDA BUILDING CODE HOLLOW CONCRETE BLOCK UNITS MAY BE 7-5/8" X 7-5/8" X 15-5/8" MODULAR DIMENSION.

40.08 ALL CONCRETE MASONRY UNIT REINFORCING STEEL BARS SHALL BE CONTINUOUS WITH LAP SPLICES OF AT LEAST 48 BAR DIAMETERS, BUT NOT LESS THAN 12".

40.09 ALL VERTICAL REINFORCING IN CMU WALLS SHALL BE ANCHORED TO THE THICKENED SLAB, FOOTING OR BEAM/INTEL UPON WHICH THE WALL RESTS AND IN THE BEAM AT THE TOP OF THE WALL WITH STANDARD HOOKS AND SHALL BE CONTINUOUS THROUGH ALL INTERMEDIATE WALL BOND BEAMS.

40.10 ALL OPENINGS IN CONCRETE MASONRY UNIT WALLS SHALL BE REINFORCED ON EACH SIDE, TOP, AND BOTTOM. OPENINGS BETWEEN 8" AND 16" IN WIDTH SHALL BE REINFORCED WITH A MINIMUM OF ONE #5 BAR. OPENINGS EXCEEDING 8" IN WIDTH SHALL BE PROVIDED WITH TIE COLUMNS ON EACH SIDE.

40.11 FILL ALL BLOCK CELLS WITH CONCRETE FROM THE TOP OF FOOTINGS TO THE FINISH FLOOR ELEVATION EXCEPT AS INDICATED OTHERWISE.

40.12 TIE COLUMNS SHALL BE REINFORCED WITH NOT LESS THAN 4 #5 VERTICAL BARS FOR 8" X 12" COLUMNS NOR LESS THAN 4 #6 VERTICAL BARS FOR 8" X 16" AND 12" X 12" COLUMNS.

40.13 CONTINUOUS CONCRETE FILLED THE BEAMS SHALL BE PLACED AT EACH FLOOR OR ROOF LEVEL AND AT INTERMEDIATE LEVELS NOT TO EXCEED 16'.

40.14 UNLESS OTHERWISE NOTED, ALL TIE BEAMS SHALL BE 8" WIDE AND 16" DEEP AND SHALL BE REINFORCED WITH NOT LESS THAN (2) #5 BARS AT THE TOP AND (2) #5 BARS AT THE BOTTOM. TIES SHALL BE #3 BARS SPACED AT 12" O.C.

40.15 ALL LINTEL REINFORCING SHALL EXTEND 16" PAST THE EDGE OF THE OPENING AND SHALL BE BENT AND EXTENDED 16" WHERE STRAIGHT EXTENSIONS ARE NOT POSSIBLE.

40.16 ALL CMU ELEMENTS SHALL BE ADEQUATELY BRACED TO PROVIDE STABILITY UNTIL THE ENTIRE STRUCTURE IS COMPLETE TO PREVENT DAMAGE DURING CONSTRUCTION, ESPECIALLY DUE TO BACK FILLING AND SOIL COMPACTION OPERATIONS.

40.17 ALL CMU WALLS RETAINING MORE THAN 24" OF UNBALANCED FILL MUST BE ENGINEERED BY A LICENSED PROFESSIONAL ENGINEER.

STUD PACK CONNECTION DETAIL

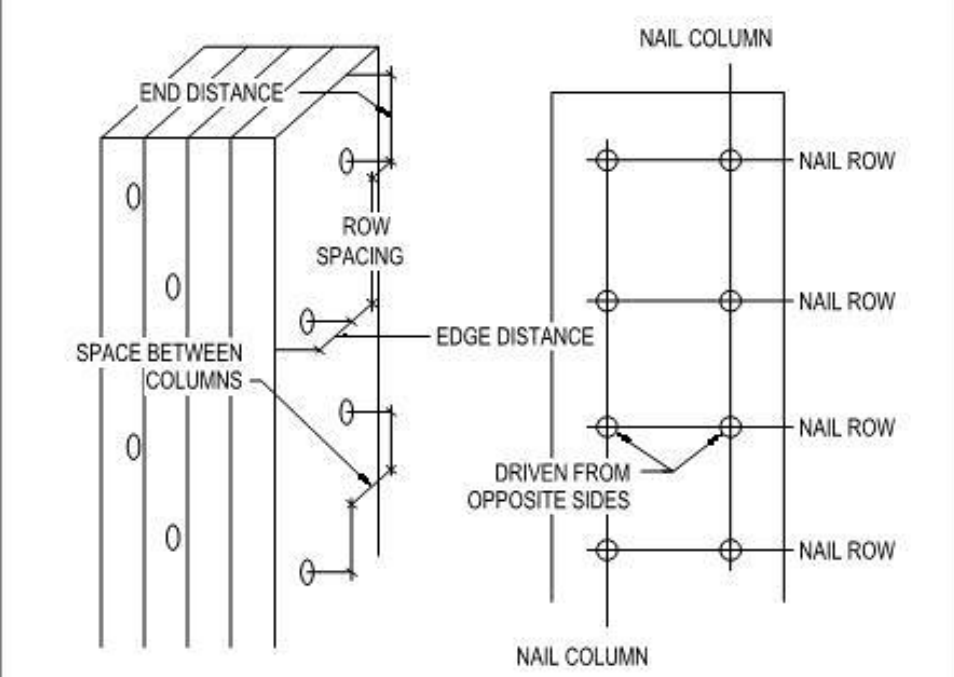


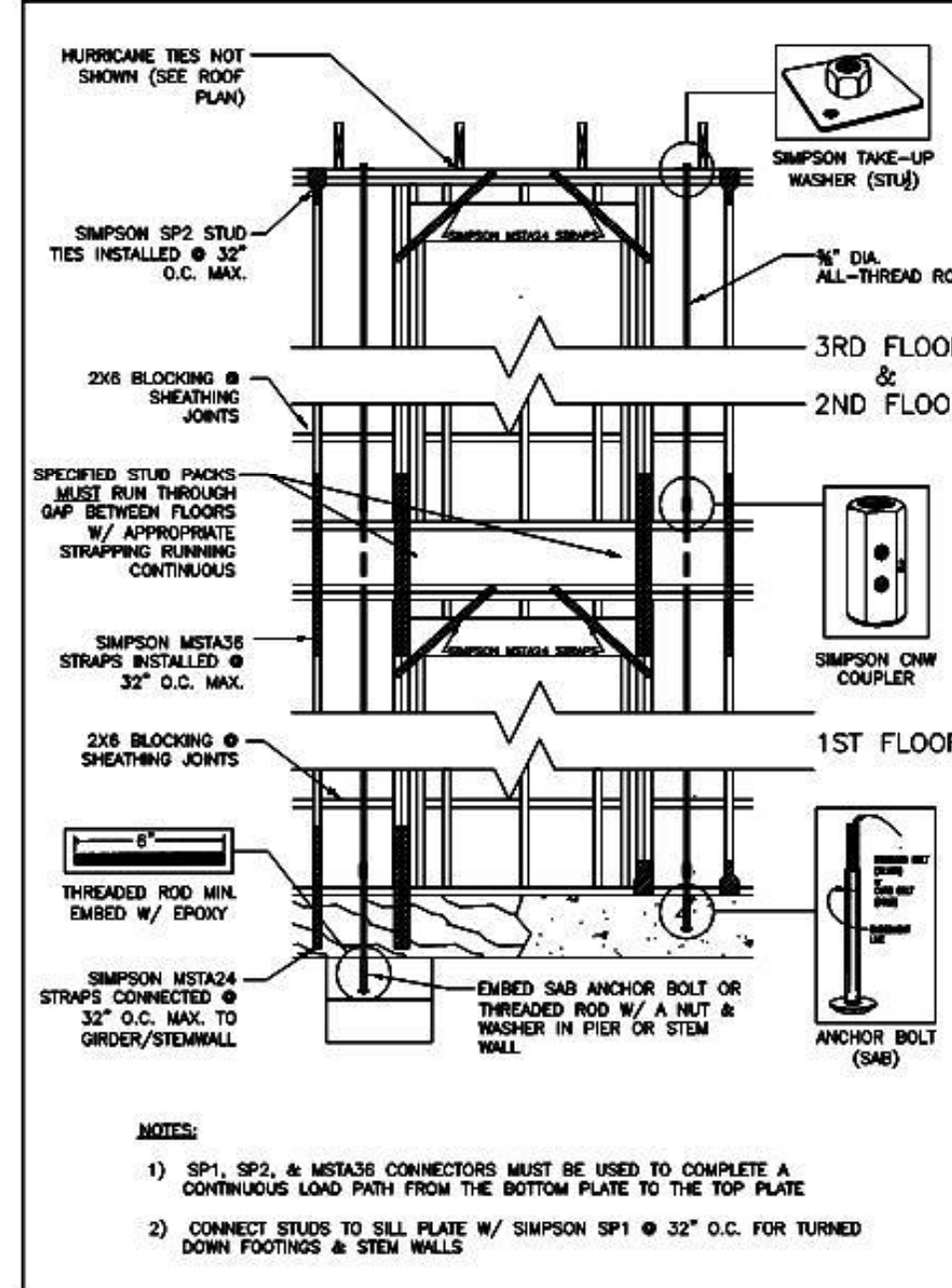
Table with 5 columns: # of NAILS PER ROW, NAIL SIZE, END DISTANCE, SPACE BETWEEN ROWS, SPACE BETWEEN COLUMNS. Values range from 1 to 2 for nails, 300 to 500 for nail size, 1.5" to 3.5" for end distance, 8" to 9" for space between rows, and 0.5" to 2.5" for space between columns.

WHEN ONE NAIL PER ROW IS SPECIFIED, NAILS IN ADJACENT ROWS SHALL BE DRIVEN FROM OPPOSITE SIDES IN OPPOSITE COLUMNS.

4 1/2" SIMPSON SDS SCREWS MAY REPLACE 300 NAILS & 6" SIMPSON SDS SCREWS MAY REPLACE 500 NAILS.

SOLID TIMBER MEMBERS OF EQUAL OR GREATER SIZE MAY BE USED INSTEAD OF SPECIFIED STUD PACKS.

TYPICAL STRAPPING REQUIREMENTS



WOOD FRAME WALL HEADER SCHEDULE table with 3 columns: CLEAR SPAN LENGTH (FT) (0'-3", 3'-6", 6'-10"), # LINER/SUPPORT STUDS @ E.E. (1, 2, 3), and SEE PLANS.

70.00 STRUCTURAL STEEL

70.01 STEEL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOLERANCES, QUALITY, AND METHODS OF CONSTRUCTION AS SET FORTH IN THE FLORIDA BUILDING CODE AND WITH AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" NINTH EDITION.

70.02 STRUCTURAL STEEL SHALL CONFORM TO ASTM A572 GRADE 50 EXCEPT STRUCTURAL TUBING SHALL CONFORM TO ASTM A500 GRADE B.

70.03 STRUCTURAL STEEL SHALL HAVE THE FOLLOWING MINIMUM YIELD STRENGTHS, UNLESS NOTED OTHERWISE ON THE DRAWINGS. - STRUCTURAL TUBING Fy= 46 KSI - ANGLES, CHANNELS, PLATES Fy= 36 KSI - W-SECTIONS & WTS Fy= 50 KSI

70.04 HIGH STRENGTH BOLTING SHALL BE IN ACCORDANCE WITH AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" (LATEST EDITION).

70.05 HIGH STRENGTH BOLTS, NUTS AND HARDENED WASHERS SHALL CONFORM TO ASTM A325, MACHINE BOLTS AND NUTS SHALL CONFORM TO ASTM A307.

70.06 ERECTION BOLTS USED IN HIGH STRENGTH BOLTED CONNECTIONS SHALL BE REMOVED AND REPLACED WITH HIGH STRENGTH BOLTS.

70.07 WHEN CONNECTIONS REQUIRE FIELD PREPARATION OF BOLT HOLES, THE HOLES SHALL BE DRILLED AND THE DIAMETER OF THE BOLT HOLES SHALL BE 1/16" GREATER THAN THE NOMINAL BOLT DIAMETER.

70.08 WELDING SHALL BE IN ACCORDANCE WITH AMERICAN WELDING SOCIETY SPECIFICATIONS AWS D1.1 (LATEST EDITION).

70.09 WELDING ELECTRODES USED FOR SHOP OR FIELD CONNECTIONS SHALL HAVE A MINIMUM ELECTRODE TENSILE STRENGTH OF 70 KSI. U.N.O. ELECTRODES SHALL CONFORM TO AWS A5.

70.00 STRUCTURAL STEEL (CONT'D)

70.10 FIELD CORRECTING OF FABRICATED STEEL BY GAS CUTTING SHALL NOT BE PERMITTED ON STRUCTURAL FRAMING MEMBERS WITHOUT PRIOR WRITTEN APPROVAL BY THE E.O.R.

70.11 FABRICATOR SHALL PREPARE SHOP DRAWINGS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONNECTIONS SHALL BE DETAILED BASED ON THE DESIGN INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS.

70.12 STANDARD SHOP PAINT SHALL BE RED ALKYL ZINC CHROMATE PRIMER PER FEDERAL SPECIFICATION TTP-636 OR EQUIVALENT PROVIDED APPROVED PER MANUFACTURERS STANDARD. REFER TO ARCHITECTURAL SPECIFICATIONS FOR FINISH COAT RECOMMENDATIONS.

70.13 STEEL SURFACES SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP3. FOR PREPARATION PRIOR TO PRIMER PAINTING, UNLESS REQUIRED OTHERWISE BY PRIMER MANUFACTURER. ALL WELDED, BURNED, OR OTHERWISE DAMAGED AREAS SHALL BE REPAIRED AND RECOATED IN ACCORDANCE WITH COATING MATERIAL MANUFACTURERS RECOMMENDATIONS.

70.14 SEE ARCHITECTURAL DOCUMENTS FOR ADDITIONAL MISCELLANEOUS STEEL REQUIRED.

80.00 WOOD

80.01 ALL WOOD FRAMING INCLUDING TRUSSES SHALL CONFORM TO THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC CODE.

80.02 STRUCTURAL TIMBER SHALL BE NO. 2 GRADE SOUTHERN YELLOW PINE OR APPROVED EQUAL, BY THE STRUCTURAL ENGINEER, WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF PERMANENT INCORPORATION TO THE STRUCTURE, UNLESS OTHERWISE NOTED IN THE STRUCTURAL DRAWINGS. THE TIMBER SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES: - BENDING STRESS 1,250 PSI - SHEAR STRESS 90 PSI - COMPRESSION STRESS PARALLEL TO GRAIN 1,600 PSI - MODULUS OF ELASTICITY 1,600,000 PSI

80.03 STUDS IN EXTERIOR WALLS SHALL BE 2X6 SPACED AT 16" O.C. ALL WOOD FRAME STUD WALLS SHALL HAVE SOLID BLOCKING AT MID-HEIGHT OR AT EACH SHEATHING POINT.

80.04 SILLS AND BASE PLATES SHALL BE ATTACHED TO MASONRY OR CONCRETE WITH 5/8" DIAMETER BOLTS AT A MAXIMUM SPACING OF 32" O.C. (U.N.O.) AND WITHIN 12" FROM CORNERS & DOORWAY OPENINGS EMBEDDED NOT LESS THAN 7" INTO GROUT FILLED MASONRY OR CONCRETE.

80.05 ALL TOP PLATES OF STUD BEARING WALLS SHALL BE DOUBLED. SIMPSON SP2 STUD TIES SHALL BE INSTALLED AT 32" O.C. MAX. STARTING AT THE FIRST STUD AWAY FROM EACH SIDE OF A DOOR AND/OR WINDOW OPENING.

80.06 FLOOR JOISTS UNDER WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.

80.07 FLOOR SHEATHING SHALL BE 3/4" STRUCTURAL 1 RATED EXPOSURE 2. SHEATHING SHALL BE NAILED WITH 2-1/2" LONG 8D COMMON NAILS SPACED AT 8" O.C. AT PANEL EDGES AND 10" O.C. AT INTERMEDIATE SUPPORTS.

80.08 GIRDER PLYS AND NAILER BOARDS MUST BE CONNECTED WITH A MINIMUM OF (3) ROWS OF 10d (0.125"x3") NAILS AT 12" O.C. (ROW MAY BE REDUCED BY ONE IF USING 16d NAILS).

80.09 NAILERS MUST BE CONNECTED TO WALL FACES W/ MIN. (2) SIMPSON SDS2512 (0.25"x3.25") WOOD SCREWS PER STUD CROSSING.

80.10 ROOF SHEATHING SHALL BE 5/8" STRUCTURAL 1 RATED EXPOSURE 1. SHEATHING SHALL BE NAILED WITH 2-1/2" LONG 8D COMMON NAILS SPACED AT 8" O.C. AT PANEL EDGES AND 10" O.C. AT INTERMEDIATE STUDS & MID. SPAN BLOCKING.

80.11 PLYWOOD EXTERIOR WALL SHEATHING SHALL BE 1/2" STRUCTURAL 1 RATED EXPOSURE 1. SHEATHING SHALL BE NAILED WITH 2-1/2" LONG 8D COMMON NAILS SPACED AT 4" O.C. AT PANEL EDGES AND 6" O.C. AT TO INTERMEDIATE STUDS & MID. SPAN BLOCKING.

80.12 ALL TRUSSES AND RAFTERS SHALL BE STRAPPED OR HURRICANE CLIPPED TO SUPPORTING MEMBERS AT ALL BEARING POINTS.

80.13 ALL METAL BRACKETS, CLIPS, HANGERS, TIES, ETC. USED FOR FASTENING WOOD MEMBERS SHALL BE STAINLESS STEEL IN ALL LOCATIONS THAT ARE NOT FULLY WEATHER PROTECTED. Z-MAX OR GALVANIZED COATED FASTENERS SHALL BE USED ONLY IN LOCATIONS THAT ARE FULLY WEATHER PROTECTED. ALL FIRST FLOOR HANGERS MUST BE STAINLESS STEEL U.N.O.

80.14 PRESERVATIVE-TREATED WOOD SHALL BE USED FOR ALL SILL PLATES, BLOCKING, PLATES, AND OTHER MEMBERS THAT ARE IN CONTACT WITH CONCRETE, MASONRY, OR EARTH.

80.15 UNLESS NOTED OTHERWISE ALL LAMINATED VENEER LUMBER (LVL) MEMBERS ARE TO BE 2900Fb, 2.0E.

80.16 UNLESS NOTED OTHERWISE ALL PARALLEL STRAND LUMBER (PSL) COLUMNS ARE TO BE 2900Fb, 2.0E.

80.17 PRE-ENGINEERED FLOOR AND ROOF TRUSSES SHALL BE DESIGNED AND FABRICATED TO MEET ALL STRUCTURAL DESIGN CRITERIA AND WIND DESIGN PRESSURES SHOWN ON THIS SHEET.

80.18 TRUSS SUPPLIER SHALL COORDINATE WITH THE ARCHITECT ALL CEILING AND BOTTOM CHORD REQUIREMENTS, AS WELL AS PROVISIONS FOR MECHANICAL CHASES AND DUCTWORK, ELECTRICAL, AND PLUMBING REQUIREMENTS PRIOR TO FABRICATING TRUSSES.

80.19 ADDITIONAL PRE-ENGINEERED TRUSS STRUCTURAL DESIGN CRITERIA: - ROOF TOP CHORD LIVE LOAD 20 PSF - ROOF TOP CHORD DEAD LOAD 30 PSF - ROOF BOTTOM CHORD DEAD LOAD 10 PSF - FLOOR TOP CHORD LIVE LOAD 40 PSF - FLOOR TOP CHORD DEAD LOAD 30 PSF (U.N.O.) - FLOOR BOTTOM CHORD DEAD LOAD 10 PSF - FLOOR TRUSS MAX DEFLECTION L/800 (LIVE) & L/300 (TOTAL LOAD)

80.20 ALL ENGINEERING DOCUMENTS PREPARED BY THE TRUSS SYSTEM ENGINEER AND/OR TRUSS DESIGN ENGINEER SHALL COMPLY WITH F.A.C. 61G15-90.003 AND F.S. CHAPTER 471.

80.21 ENGINEERED FLOOR AND ROOF TRUSSES SHALL BE DESIGNED AND SIGNED AND SEALED IN ACCORDANCE WITH 2010 F.B.C. AND F.S. CHAPTER 471

80.22 TRUSS DESIGN MUST COMPLY WITH F.A.C. 61G15-90.006 AND BE SUBMITTED FOR REVIEW AND APPROVAL BY THE E.O.R. IN ACCORDANCE WITH F.A.C. 61G15-90.005.

80.23 TRUSS SUPPLIER SHALL MAKE NECESSARY CORRECTIONS TO THE TRUSS DESIGN AS DIRECTED BY THE CONTRACTOR AND THE ENGINEER OF RECORD PRIOR TO COMMENCING WITH FABRICATION.

80.24 WRITTEN APPROVAL OF ALL ENGINEERING DOCUMENTS MUST BE PROVIDED BY ANDERSON ENGINEERS, P.A. PRIOR TO FABRICATION OR INSTALLATION.

80.25 TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE TPWTCVA BCSI.

80.26 NO ON-SITE CONSULTATIONS OR INSPECTIONS WILL BE PERFORMED PAST FIRST FLOOR FRAMING UNLESS TRUSS DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY E.O.R.

80.27 TRUSS MEMBERS AND COMPONENTS SHALL NOT BE CUT, NOTCHED, SPLICED OR OTHERWISE ALTERED IN ANY WAY WITHOUT THE APPROVAL OF A REGISTERED DESIGN PROFESSIONAL. ALTERATIONS RESULTING IN THE ADDITION OF LOAD (E.G. HVAC EQUIPMENT, WATER HEATER, ETC.) THAT EXCEED THE DESIGN LOAD FOR THE TRUSS, SHALL NOT BE PERMITTED WITHOUT VERIFICATION THAT THE TRUSS IS CAPABLE OF SUPPORTING THE ADDITIONAL LOADING.

80.28 WRITTEN APPROVAL OF ALL ENGINEERING DOCUMENTS MUST BE PROVIDED BY ANDERSON ENGINEERS, P.A. PRIOR TO FABRICATION OR INSTALLATION.

80.29 TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE TPWTCVA BCSI.

80.30 WINDOW & DOOR INSTALLATION (ALL CONNECTIONS MUST BE VISIBLE WITH MFG. STICKERS ON ALL COMPONENTS FOR APPROVAL AT TIME OF INSPECTION OR APPROVAL WILL NOT BE ISSUED) ENGINEER FINAL INSPECTION & COUNTY CERTIFICATION (POST DRYWALL FINAL WALK-THROUGH)

80.31 IN ADDITION TO E.O.R. CHECKPOINT INSPECTIONS LISTED ABOVE, THE CONTRACTOR SHOULD TAKE ADEQUATE PICTURES OF ALL PHASES OF CONSTRUCTION TO PROVIDE VERIFICATION OF STRUCTURAL ELEMENTS AND CONSTRUCTION METHODS PER I.B.H.S. SUBMITTAL AND DOCUMENTATION REQUIREMENTS.

100.00 STRUCTURAL SUBMITTALS

100.01 IN ADDITION TO SUBMITTALS REQUIRED BY THE PROJECT SPECIFICATIONS AND ELSEWHERE IN THE CONSTRUCTION DOCUMENTS, THE FOLLOWING "STRUCTURAL SUBMITTALS" ARE REQUIRED FOR REVIEW BY THE E.O.R.

01.01 CONCRETE STRENGTH TESTS: ONE CONCRETE 28-DAY TEST PER ASTM C39 FOR EVERY BATCH OF CONCRETE DELIVERED TO THE SITE.

01.02 CONCRETE DETAILING: CONCRETE DETAILING REINFORCEMENT AND ACCESSORIES PER ACI 315-80 DETAILING MANUAL. SUBMIT SHOP DRAWINGS FOR APPROVAL, SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING REINFORCEMENT STEEL AND ACCESSORIES. DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED.

01.03 PRE-ENGINEERED ROOF AND FLOOR TRUSSES: SHOP DRAWINGS OF PRE-ENGINEERED ROOF AND FLOOR TRUSSES.

01.04 STRUCTURAL STEEL: SUBMIT SHOP DRAWINGS PREPARED IN ACCORDANCE WITH AISC MANUAL "DETAILING FOR STEEL CONSTRUCTION". DO NOT BEGIN FABRICATION UNTIL SHOP DRAWINGS ARE COMPLETE AND REVIEWED.

100.02 ALL "STRUCTURAL SUBMITTALS" SHALL BE PREPARED BY A "SPECIALTY ENGINEER" AS DEFINED BY RULE #21H - 19.001 (REGISTERED IN THE STATE OF FLORIDA).

100.03 DRAWINGS PREPARED SOLELY AS A GUIDE FOR ERECTION AND INSTALLATION AND CATALOG INFORMATION WILL NOT REQUIRE AN ENGINEER'S SEAL; HOWEVER, THEY SHALL BEAR THE ENGINEER'S SIGNATURE AND AN INDICATION THAT HE HAS CHECKED THE WORK.

100.04 DRAWINGS INTRODUCING ENGINEERING INPUT AND CALCULATIONS SHALL BE SEALED BY THE ENGINEER PREPARING SUCH WORK.

100.05 THE REVIEW OF "STRUCTURAL SUBMITTALS" BY THE E.O.R. SHALL ENSURE THAT THE SUBMITTALS HAVE BEEN FURNISHED AND PREPARED BY A QUALIFIED PERSON THAT THE "SPECIALTY ENGINEER" UNDERSTOOD THE INTENT OF THE DESIGN AND USED THE SPECIFIED CRITERIA AND THAT THE CONFIGURATION OF THE DESIGN IS CONSISTENT WITH THE CONSTRUCTION DOCUMENTS. NO DETAILED CHECK OF DIMENSIONS WILL BE MADE.

100.06 ANY DESIGN CHANGES MADE BY A "VALUE, SPECIALTY OR DELEGATED ENGINEER" SHALL BE PERFORMED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. PRIOR TO FABRICATION ALL DESIGN CHANGES MUST BE SUPPORTED BY CALCULATIONS, SIGNED AND SEALED THEN SUBMITTED TO THE E.O.R. FOR APPROVAL.

100.07 REFER TO SECTION 61G15-30.006 OF THE FLORIDA ADMINISTRATIVE CODE.

REINFORCEMENT LAP SPLICE LENGTHS table with 2 columns: BAR SIZE and MINIMUM COMPRESSION LAP LENGTH. Includes sub-tables for COMPRESSION BARS and TENSION BARS.

REINFORCEMENT HOOK SPECIFICATIONS table with 4 columns: BAR SIZE, RADIUS, A, B, C. Includes diagrams for 180° HOOK and 90° HOOK.

BOND BEAM & LINTEL SPECIFICATIONS table with 1 column: LISTED SPECIFICATIONS AND NOTES.

PLAN ABBREVIATION LEGEND table with 4 columns: ACRONYM, DESCRIPTION, ACRONYM, DESCRIPTION. Includes AB ANCHOR BOLT, ARCH. ARCHITECTURAL PLANS, B.M. BOTTOM (FOR REINF.), B.M. BEAM, BTM BOTTOM, CB CARTRIDGE BOLT, C.I.P. CAST IN PLACE CONCRETE, CMU CONCRETE MASONRY UNIT, CONC. CONCRETE, CONT. CONTINUOUS, D.L. DEAD LOAD, E.E. EACH END.

WALTON COUNTY WIND LOAD STATEMENT: I CERTIFY THAT THE DESIGN PLANS AND SPECIFICATIONS FOR THIS CONSTRUCTION ARE IN COMPLIANCE WITH THE CRITERIA ESTABLISHED BY THE FLORIDA BUILDING CODE 2010 AND SECTION 4.02.06 OF THE WALTON COUNTY LAND DEVELOPMENT CODE. THIS BUILDING AND/OR STRUCTURE